

Houma-Terrebonne Regional Planning Commission

Daniel J. Babin.....	Chairman
L. Arnold "Budd" Cloutier, O.D.....	Vice-Chairman
Marsha Williams.....	Secretary/Treasurer
Beryl A. Amedée.....	Member
Richard Elfert.....	Member
James A. Erny.....	Member
Keith Kurtz.....	Member
John Navy.....	Member
W. Alex Ostheimer.....	Member

APRIL 23, 2009, THURSDAY

6:00 P.M.

**TERREBONNE PARISH COUNCIL MEETING ROOM
Government Tower, 8026 Main Street, 2nd Floor**

A • G • E • N • D • A

I. CONVENE AS THE ZONING AND LAND USE COMMISSION

A. INVOCATION & PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. APPROVAL OF MINUTES:

1. Approval of Minutes of Zoning and Land Use Commission for the Regular Meeting of March 19, 2009

D. COMMUNICATIONS

E. PUBLIC HEARINGS:

1. Rezone from C-2 (General Commercial District) and R-3 (Multi-Family Residential District) to C-2 (General Commercial District) Revised Tract 3, property formerly belonging to and claimed by John L. Saia, et al, 5619 Highway 311; Bayou Surgical Specialists, L.L.C., applicant
2. Rezone from R-1 (Single-Family Residential District) to C-2 (General Commercial District) westernmost ±18' of Lot A, Lots B, C, & D of property belonging to James & Vicky Chaisson, 402 Grand Caillou Road and 1602, 1608, & 1614 Morris Street; James & Vicky Chaisson, applicants
3. Rezone from C-3 (Neighborhood Commercial District) to R-3 (Multi-Family Residential District) Revised Tract "B", Honduras Plantation Subdivision, 109 Simmons Drive; Joseph C. Fox, applicant
4. Rezone from R-1 (Single-Family Residential District) to R-2M (Two-Family Residential District, High Density) Lot 9, Block 4, Grand Caillou Heights Subdivision, 219 Carolyn Avenue; Randy Piazza, applicant

F. NEW BUSINESS:

1. Planned Building Group Approval:
 - a) Placement of (4) duplexes; 720 & 724 Bayou Gardens Boulevard, Houma, Terrebonne Parish, Louisiana; Guidry Brothers Rental Properties, LLC, applicant
 - b) Belmere Luxury Apartments; Enterprise Drive Extension; Belmere, L.P., applicant
 - c) New Start for Vets; 137 New Orleans Boulevard; Start Corporation, applicant
2. Parking Plan Approval:
 - a) Belmere Luxury Apartments, Creation of (519) parking spaces; Enterprise Drive Extension; Belmere, L.P., applicant
3. Preliminary Hearings:
 - a) Rezone from R-2M (Two-Family Residential District, High Density) to R-3M (Multi-Family Townhouse Condominium District) Lots 1-10, Village Square Subdivision; Michelle Parsons Properties, L.L.C., applicant; and call a public hearing on said matter for Thursday, May 21, 2009 at 6:00 p.m.
 - b) Rezone from R-1 (Single-Family Residential District) and I-2 (Heavy Industrial District) to C-2 (General Commercial District), R-1 (Single-Family Residential District), and O-L (Open Land District) 65.4 acres, Lots 1A & 2A, Proposed Hollygrove Subdivision/Concord Business Park; South Hollywood Properties #1, L.L.C., applicant; and call a public hearing on said matter for Thursday, May 21, 2009 at 6:00 p.m.

- c) Rezone from C-2 (General Commercial District) to I-1 (Light Industrial District) Parcel 1, Tracts 1, 2, D, BDC-1, JB-1, and JB-2 of Property belonging to James Buquet, Jr., or assigns; James J. Buquet, III, applicant; and call a public hearing on said matter for Thursday, May 21, 2009 at 6:00 p.m.

G. STAFF REPORT

1. Review and discussion regarding a 2008 Parking Study submitted by Terrebonne General Medical Center's Facility Management Department

H. COMMISSION COMMENTS:

1. Chairman's Comments
2. Planning Commissioners' Comments

I. PUBLIC COMMENTS

J. ADJOURN

II. CONVENE AS THE REGIONAL PLANNING COMMISSION

A. INVOCATION & PLEDGE OF ALLEGIANCE

B. ROLL CALL

C. ACCEPTANCE OF MINUTES:

1. Houma-Terrebonne Regional Planning Commission Minutes for the Regular Meeting of March 19, 2009
2. Zoning & Land Use Commission Minutes for the Regular Meeting of March 19, 2009

D. APPROVE EMITTENCE OF PAYMENT FOR APRIL 23, 2009 INVOICES AND TREASURER'S REPORT OF MARCH 2009

E. COMMUNICATIONS

F. OLD BUSINESS:

1. a) Subdivision: Hollygrove
Approval Requested: Process C, Major Subdivision-Conceptual & Preliminary
Location: Section 104, T17S-R17E, Terrebonne Parish, LA
Government Districts: Council District 6 / City of Houma Fire District
Developer: South Hollywood Properties #1, L.L.C.
Surveyor: David A. Waitz Engineering and Surveying, Inc.

b) Public Hearing
c) Consider Approval of Said Application

G. APPLICATIONS:

1. a) Subdivision: Survey and Division of Property belonging to Matherne Realty Partnership
Approval Requested: Process D, Minor Subdivision
Location: Sections 5 & 101, T17S-R17E, Terrebonne Parish, LA
Government Districts: Council District 2 / Bayou Cane Fire District
Developer: Belmere, LP
Surveyor: Coyle Engineering Co., Inc.

b) Public Hearing
c) Consider Approval of Said Application
2. a) Subdivision: Survey of Lots 6-A, 6-B, 6-C & 6-D, A Redivision of Lot 6, former property of Burlington Resources
Approval Requested: Process D, Minor Subdivision
Location: Sections 84 & 85, T21S-R18E, Terrebonne Parish, LA
Government Districts: Council District 9 / Little Caillou Fire District
Developer: Four Sisters Properties, L.L.C., % Blaine Melancon
Surveyor: Keneth L. Rembert Land Surveyors

b) Public Hearing
c) Consider Approval of Said Application

3. a) Subdivision: Survey of Tracts A-1, A-2, A-3, & A-4, A Redivision of Tract A, A portion of Tract 32 of Terrebonne Project LA-12
Approval Requested: Process D, Minor Subdivision
Location: Section 84, T15S-R16E, Terrebonne Parish, LA
Government Districts: Council District 6 / Schriever Fire District
Developer: Diane Blanchard
Surveyor: Keneth L. Rembert Land Surveyors
 - b) Public Hearing
 - c) Consider Approval of Said Application
4. a) Subdivision: Division of Property, C & J Enterprises, L.L.C., et al
Approval Requested: Process D, Minor Subdivision
Location: Section 12, T17S-R18E / Section 105, T17S-R17E, Terrebonne Parish, LA
Government Districts: Council District 7 / Grand Caillou Fire District
Developer: C & J Enterprises, L.L.C., et al
Surveyor: T. Baker Smith, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application
5. a) Subdivision: Division of Property, Jonathon Carriles and Eva Raye Smith
Approval Requested: Process D, Minor Subdivision
Location: Section 65, T19S-R17E Terrebonne Parish, LA
Government Districts: Council District 7 / Bayou Dularge Fire District
Developer: Jonathon Carriles & Eva Raye Smith
Surveyor: T. Baker Smith, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application
6. a) Subdivision: Concord Business Park
Approval Requested: Process C, Major Subdivision-Conceptual & Preliminary
Location: Section 104, T17S-R17E, Terrebonne Parish, LA
Government Districts: Council District 6 / City of Houma Fire District
Developer: South Hollywood Properties #1, L.L.C.
Surveyor: David A. Waitz Engineering and Surveying, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application
7. a) Subdivision: Cypress Gardens Subdivision (Phase A)
Approval Requested: Process C, Major Subdivision-Conceptual & Preliminary
Location: Section 9, T16S-R17E, Terrebonne Parish, LA
Government Districts: Council District 4 / Bayou Cane Fire District
Developer: Cypress Gardens Development, L.L.C.
Surveyor: David A. Waitz Engineering and Surveying, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application
8. a) Subdivision: Four Seasons Mobile Home Park
Approval Requested: Process B, Mobile Home Park
Location: Section 9, T16S-R17E, Terrebonne Parish, LA
Government Districts: Council District 4 / Bayou Cane Fire District
Developer: Kevin & Jenny Do
Surveyor: Charles L. McDonald Land Surveyors, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application

9. a) Subdivision: Rebecca Plantation, Phase 2, Block 2, Lot 3
 Approval Requested: Process D, Minor Subdivision
 Location: Section 10, T16S-R16E, Terrebonne Parish, LA
 Government Districts: Council District 2 / Schriever Fire District
 Developer: Rebecca Plantation, LLC, % Jacob A. Giardina
 Surveyor: T. Baker Smith, Inc.
 - b) Public Hearing
 - c) Consider Approval of Said Application
10. a) Subdivision: Ferrantello Estates
 Approval Requested: Process C, Major Subdivision-Final
 Location: Section 85, T15S-R16E, Terrebonne Parish, LA
 Government Districts: Council District 6 / Schriever Fire District
 Developer: Lee Marsalise
 Engineer: Acadia Land Surveying, L.L.C.
 - b) Consider Approval of Said Application

H. STAFF REPORT

1. Discussion and possible action regarding the status of the Master Plan and goals for the upcoming year for the 2008 Houma-Terrebonne Regional Planning Commission Annual Report and ratification of the same

I. ADMINISTRATIVE APPROVALS:

1. Map showing the reconfiguration of Lots 1 & 2, Block 1 of Addendum No. 8 to Bayou Gardens Subdivision, Sections 9 & 89, T16S-R17E, Terrebonne Parish, LA
2. Survey of Lot Line Adjustment between D.J. LeBlanc, L.L.C. and Walter Land Company, Section 12, T17S-R17E, Terrebonne Parish, LA
3. Survey of Lot Line Adjustment between Wilbert John Webre, Jr. and Walter Land Company, Section 12, T17S-R17E, Terrebonne Parish, LA
4. Survey of Revised Tracts 20 & 21 of Mahler Campsites, Section 90, T21S-R18E, Terrebonne Parish, LA
5. Proposed Lot Line Shift, Tract A of Walnut Street, Section 7, T17S-R17E, Terrebonne Parish, LA

J. COMMITTEE REPORTS:

1. Subdivision Regulations Review Committee
Public Hearing
 - a) Lot Development on right-of-ways
 - b) Altering drainage plan after development is completed
 - c) Lapse between Conceptual/Preliminary Approval(s) and Engineering Approval
 - d) Access to major subdivisions
2. Comprehensive Master Plan Update Committee

K. COMMISSION COMMENTS:

1. Chairman's Comments
2. Planning Commissioners' Comments

L. PUBLIC COMMENTS

M. ADJOURN

MINUTES
HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION (HTRPC)
ZONING & LAND USE COMMISSION
MEETING OF MARCH 19, 2009

- A. The Chairman called the meeting of March 19, 2009 of the HTRPC, convening as the Zoning and Land Use Commission, to order at 6:01 p.m. in the Terrebonne Parish Council Meeting Room with the Invocation led by Dr. L.A. "Budd" Cloutier and the Pledge of Allegiance led by Ms. Marsha Williams.
- B. Upon Roll Call, present were: Ms. Beryl Amedée; Dr. L.A. "Budd" Cloutier, Vice-Chairman; Daniel Babin, Chairman; Mr. Richard Elfert; Mr. James Erny; Mr. Keith Kurtz; Mr. John Navy; Mr. Alex Ostheimer; and Ms. Marsha Williams, Secretary/Treasurer. Absent at the time of Roll Call were: None. Also present were Patrick Gordon, Director and Jennifer Robinson, Senior Planner, Department of Planning & Zoning; and Laddie Freeman, Legal Advisor.
- C. Dr. Cloutier moved, seconded by Ms. Williams: "THAT the HTRPC, convening as the Zoning & Land Use Commission, accept the minutes, as written, of the Zoning and Land Use Commission for the regular meeting of February 19, 2009."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

D. COMMUNICATIONS: None.

E. OLD BUSINESS:

1. Planned Building Group Approval:

Dr. Cloutier moved, seconded by Mr. Erny: "THAT the HTRPC, convening as the Zoning and Land Use Commission, remove Item E1(a) from the table to be considered at this time."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

a) The Chairman stated the next item under old business was an application by Boxer Rentals, L.L.C. requesting planned building group approval for Brindle Place Apartments, (4) duplex units; northwest corner of Vicari Street and Bayou Gardens Boulevard, Terrebonne Parish, Louisiana.

(1) The Chairman recognized Mark McChargue, 167 Hwy. 311, Schriever, who discussed his request for planned building group approval for Brindle Place Apartments. He stated he received a variance from the Board of Adjustments as requested by the Commission last month.

(2) Ms. Robinson discussed the Staff Report and stated Staff recommended approval provided the applicant shows space for dumpsters to serve the development on the site plan.

(3) Mr. Elfert discussed the planned building group request and the use being consistent with the existing zoning district.

(4) Mr. Elfert moved, seconded by Mr. Erny: "THAT the HTRPC, convening as the Zoning and Land Use Commission, grant approval to the planned building group request for Brindle Place Apartments, (4) duplex units; northwest corner of Vicari Street and Bayou Gardens Boulevard, Terrebonne Parish, Louisiana."

The Chairman called for a vote on the motion offered by Mr. Elfert. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

Dr. Cloutier moved, seconded by Ms. Williams: “THAT the HTRPC, convening as the Zoning and Land Use Commission, remove Item E1(b) from the table to be considered at this time.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

b) The Chairman stated the next item under old business was an application by David Dupre requesting planned building group approval for the placement of eight (8) units and a utility building.

(1) The Chairman recognized David Dupre, 217 Angelle Drive, who discussed his request for planned building group approval stated he received a variance from the Board of Adjustments as requested by the Commission last month. He also stated he reduced the number of homes to (7) rather than (8).

(2) Ms. Robinson discussed the Staff Report and stated a revised plan was submitted with (7) structures allowing 20' between structures and Staff recommended approval.

(3) Discussion was held with regard to the proposed structures and whether the planned building group fit within the R-1 zoning district and the interpretation of the same.

(4) Mr. Ostheimer moved, seconded by Mr. Elfert: “THAT the HTRPC, convening as the Zoning and Land Use Commission, deny the planned building group request for the placement of seven (7) units and (1) utility building at 2200 Effie Street.”

(5) Discussion was held with regard to setting precedence for future requests, Staff’s recommendation, definition of R-1 zoning district, rezoning of the property, density, and the hard surfacing of the roadway.

(6) Mr. Erny offered a substitute motion, seconded by Mr. Navy: “THAT the HTRPC, convening as the Zoning and Land Use Commission, grant approval of the planned building group request for the placement of (7) units and (1) utility building at 2200 Effie Street as recommended by Staff and conditioned upon hard-surfacing the roadway.”

The Chairman called for a vote on the substitute motion offered by Mr. Erny. THERE WAS RECORDED: YEAS: Ms. Amedée, Mr. Erny, and Mr. Navy; NAYS: Dr. Cloutier, Mr. Elfert, Mr. Kurtz, Mr. Ostheimer, and Ms. Williams; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION FAILED.

The Chairman called for a vote on the original motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Dr. Cloutier, Mr. Elfert, Mr. Kurtz, Mr. Ostheimer, and Ms. Williams; NAYS: Ms. Amedée, Mr. Erny, and Mr. Navy; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

F. NEW BUSINESS:

1. Planned Building Group Approval:

a) The Chairman stated the next item under new business was an application by Emmanuel Baptist Church requesting planned building group approval for the placement of a proposed church residence at 2709 Senator Street.

(1) The Chairman recognized Rev. Saul Thomas, 2631 Truman Street, who discussed his request for planned building group approval for a proposed church residence.

(2) Ms. Robinson discussed the Staff Report and stated Staff recommended approval of the request for planned building group at 2709 Senator Street.

- (3) Dr. Cloutier moved, seconded by Mr. Navy: THAT the HTRPC, convening as the Zoning and Land Use Commission, grant approval of the planned building group application for the placement of a proposed church residence at 2709 Senator Street.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

2. Preliminary Hearings:

- a) Dr. Cloutier moved, seconded by Ms. Williams: “THAT the HTRPC, convening as the Zoning and Land Use Commission, call a public hearing to rezone from C-2 (General Commercial District) and R-3 (Multi-Family Residential District) to C-2 (General Commercial District) Revised Tract 3, property formerly belonging to and claimed by John L. Saia, et al, 5619 Highway 311; Bayou Surgical Specialists, L.L.C., applicant; and call a public hearing on said matter for Thursday, April 23, 2009 at 6:00 p.m.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- b) Dr. Cloutier moved, seconded by Ms. Williams: “THAT the HTRPC, convening as the Zoning and Land Use Commission, call a public hearing to rezone from R-1 (Single-Family Residential District) to C-2 (General Commercial District) westernmost ±18’ of Lot A, Lots B, C, & D of property belonging to James & Vicky Chaisson, 402 Grand Caillou Road and 1602, 1608, & 1614 Morris Street; James & Vicky Chaisson, applicants; and call a public hearing on said matter for Thursday, April 23, 2009 at 6:00 p.m.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- c) Dr. Cloutier moved, seconded by Ms. Amedée: “THAT the HTRPC, convening as the Zoning and Land Use Commission, call a public hearing to rezone from C-3 (Neighborhood Commercial District) to R-3 (Multi-Family Residential District) Revised Tract “B”, Honduras Plantation Subdivision, 109 Simmons Drive; Joseph C. Fox, applicant; and call a public hearing on said matter for Thursday, April 23, 2009 at 6:00 p.m.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- d) Dr. Cloutier moved, seconded by Ms. Williams: “THAT the HTRPC, convening as the Zoning and Land Use Commission, call a public hearing to rezone from R-1 (Single-Family Residential District) to R-2M (Two-Family Residential District, High Density) Lot 9, Block 4, Grand Caillou Heights Subdivision, 219 Carolyn Avenue; Randy Piazza, applicant; and call a public hearing on said matter for Thursday, April 23, 2009 at 6:00 p.m.”

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

G. STAFF REPORT:

1. Mr. Gordon stated a meeting was set up with Terrebonne General Medical Center to discuss the 2008 parking study submitted by the Center's Facility Management Department but was cancelled due to a scheduling conflict. He requested the matter be tabled until the next regular meeting.
 - a) Mr. Erny moved, seconded by Dr. Cloutier: "THAT the HTRPC, convening as the Zoning and Land Use Commission, table the review and discussion regarding a 2008 Parking Study submitted by Terrebonne General Medical Center's Facility Management Department until the next regular meeting of April 23, 2009 as per Mr. Gordon's request."
 - b) Dr. Cloutier expressed concerns of using Lafayette as a standard as well as the parking situation at the hospital eventually becoming too far from the core of the hospital.

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

H. COMMISSION COMMENTS:

1. Chairman's Comments: None.
2. Planning Commissioners' Comments: None.

I. PUBLIC Comments: None.

- J. Dr. Cloutier moved, seconded by Ms. Williams: "THAT there being no further business to come before the Zoning and Land Use Commission, the meeting be adjourned at 6:56 p.m."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

Daniel J. Babin, Chairman
Zoning & Land Use Commission

Becky M. Becnel, Minute Clerk
Zoning & Land Use Commission

CERTIFICATION

CERTIFIED TO BE A TRUE AND CORRECT COPY OF THE PROCEEDINGS OF THE ZONING AND LAND USE COMMISSION MEETING OF MARCH 19, 2009.

**PATRICK GORDON, DIRECTOR
PLANNING & ZONING DEPARTMENT**

Houma-Terrebonne Regional Planning Commission
Zoning & Land Use Commission

P.O. Box 1446

Houma, Louisiana 70361-1446

Bus (985) 873-6793 - Fax (985) 580-8141

2009/4
Dist 2

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies, and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator

PLEASE COMPLETE THE FOLLOWING - NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: 2/12/09

DR. DONALD P. SCHWAB JR
Applicant's Name

185 Oakdale Loop Houma La. 70360
Address City State Zip

985-868-3437 985-868-2273
Telephone Number (Home) (Work)

Part Owner
Interest in Ownership (Owner, etc.)

5619 Hwy 311 Suite # A
Address of Property to be Rezoned & Description (Lot, Block, Subdivision)

Right of way property behind our new office.
(Old Railroad property)
Zoning Classification Request:

From: C-2 & R-3 To: C-2

Previous Zoning History: X No _____ Yes _____

If Yes, Date of Last Application: n/a

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

_____ **ERROR.** There is a manifest error in the ordinance.

_____ **CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

_____ **INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

_____ **SUBDIVISION OF LAND.** The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. **Legal Description:** The legal description of only the property to be rezoned.

4. **Market Information:** Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. Development Schedule: Indicate a time schedule for the beginning and completion of development planned by the applicant:

6 month - 2 yrs.

6. Effect of the Amendment: On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

Bayou Surgical Specialists, L.L.C. / Dr. Donald P. Schwab, Jr., 25%

Dr. Fritz Rau, 25%; Dr. David Rau, 25%; Eric Rau, 25%

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

x [Signature] x [Signature]

x [Signature]

x [Signature]

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

South Louisiana Bank

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:

n/a

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

I (We) own < 1 acres. A sum of \$25.00 dollars is enclosed and made a part of this application.

DECLARATION

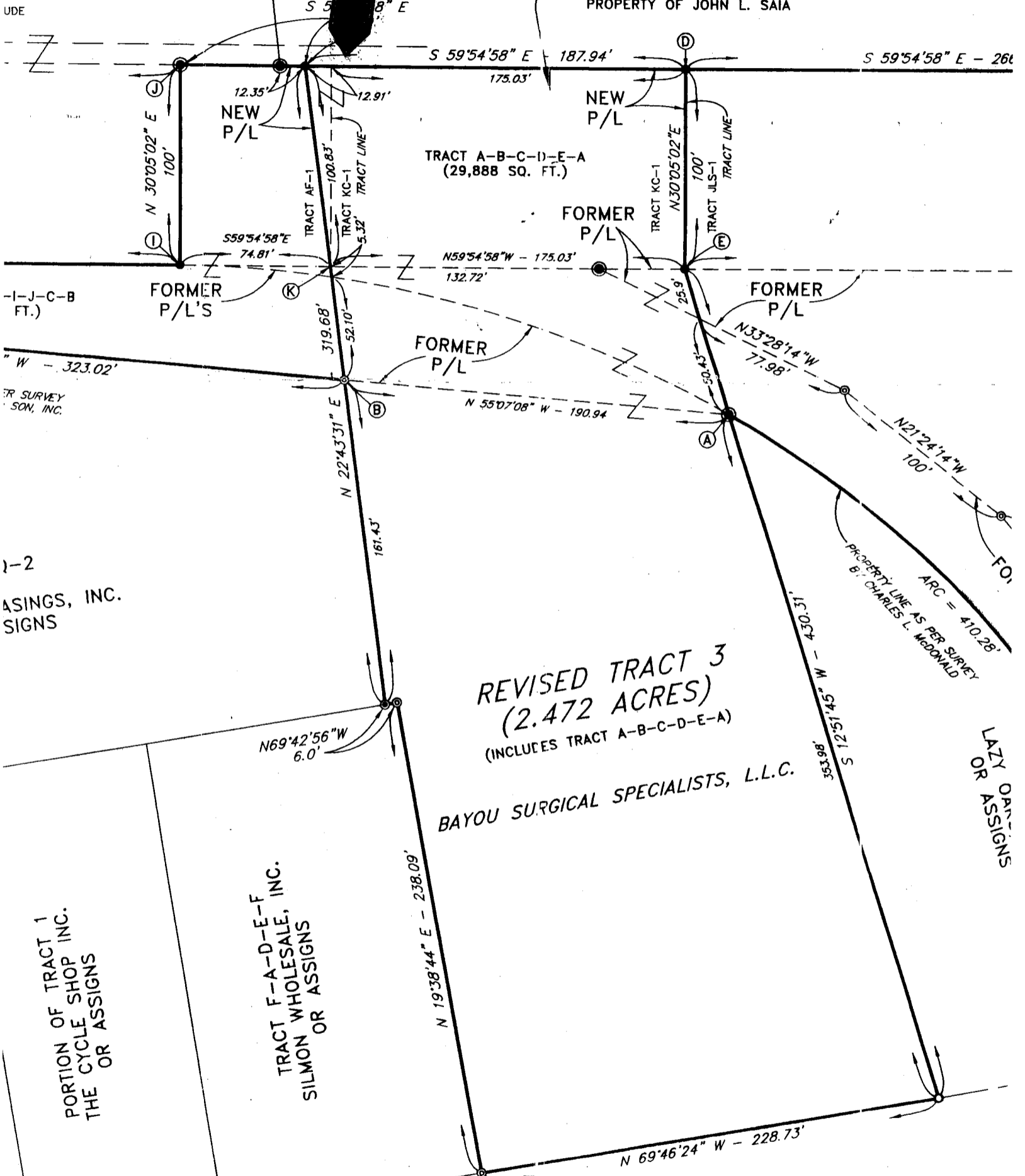
I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.

x [Signature]
Signature of Owner or Authorized Agent

JECTS, L.L.C.

NOA, INC.
OR ASSIGNS

A RIGHT OF WAY WILL BE ESTABLISHED
ACROSS TRACT A-B-C-D-E-A
TO ALLOW ACCESS TO REMAINING
PROPERTY OF JOHN L. SAIA



-I-J-C-B
FT.)

TR SURVEY
SON, INC.

1-2
ASINGS, INC.
SIGNS

REVISED TRACT 3
(2.472 ACRES)
(INCLUDES TRACT A-B-C-D-E-A)

BAYOU SURGICAL SPECIALISTS, L.L.C.

PORTION OF TRACT 1
THE CYCLE SHOP INC.
OR ASSIGNS

TRACT F-A-D-E-F
SILMON WHOLESALE, INC.
OR ASSIGNS

LAZY O
OR ASSIGNS

APPROVED AND ACCEPTED ADMINISTRATIVELY THIS DATE
BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY *[Signature]*
BY *[Signature]*

Houma-Terrebonne Regional Planning Commission
Zoning & Land Use Commission

P.O. Box 1446

Houma, Louisiana 70361-1446

Bus (985) 873-6793 - Fax (985) 580-8141

ZL1109/S
Dist. 1

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies, and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator.

PLEASE COMPLETE THE FOLLOWING - NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: March 1 - 2009

JAMES CHAISSON Vicky Chaisson
Applicant's Name

1505 Acadian Dr. Houma LA 70363
Address City State Zip

985-879-2623 985-857-9552
Telephone Number (Home) (Work)

OWNER
Interest in Ownership (Owner, etc.)

1602 Morris St. Section 105, T17S-R17E
Address of Property to be Rezoned & Description (Lot, Block, Subdivision)

Lot D

Zoning Classification Request:

From: R 1 To: C-2

Previous Zoning History: _____ No _____ Yes

If Yes, Date of Last Application: _____

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**
It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

- ERROR.** There is a manifest error in the ordinance.
- CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.
- INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.
- SUBDIVISION OF LAND.** The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:
- a. Land area to be affected;
 - b. Present zoning classification of area to be affected and zoning classification of abutting districts;
 - c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
 - d. All existing and proposed structures with supporting open facilities;
 - e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.
2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.
3. **Legal Description:** The legal description of only the property to be rezoned.
4. **Market Information:** Applicable only if the following conditions are met:
- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
 - b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
 - c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) acres;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. **Development Schedule:** Indicate a time schedule for the beginning and completion of development planned by the applicant:

ALREADY EXIST

6. **Effect of the Amendment:** On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

JAMES AND VICKY CHAISSON OWN J.V.C

PROPERTIES LLC, 1505 Acadian Dr Houma, La

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

James Chaisson

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:

James Chaisson

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

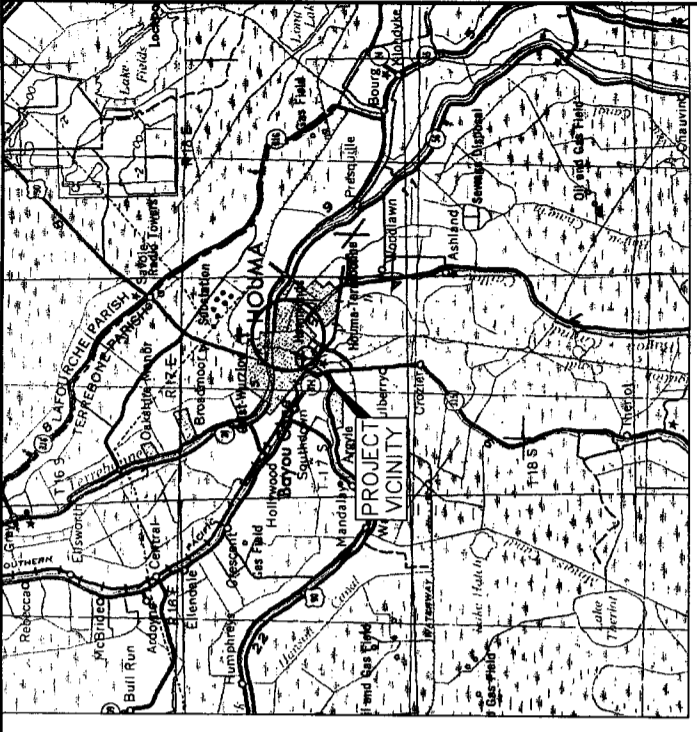
Maximum Charge - \$100.00

I (We) own 21 acres. A sum of \$2500 dollars is enclosed and made a part of this application.

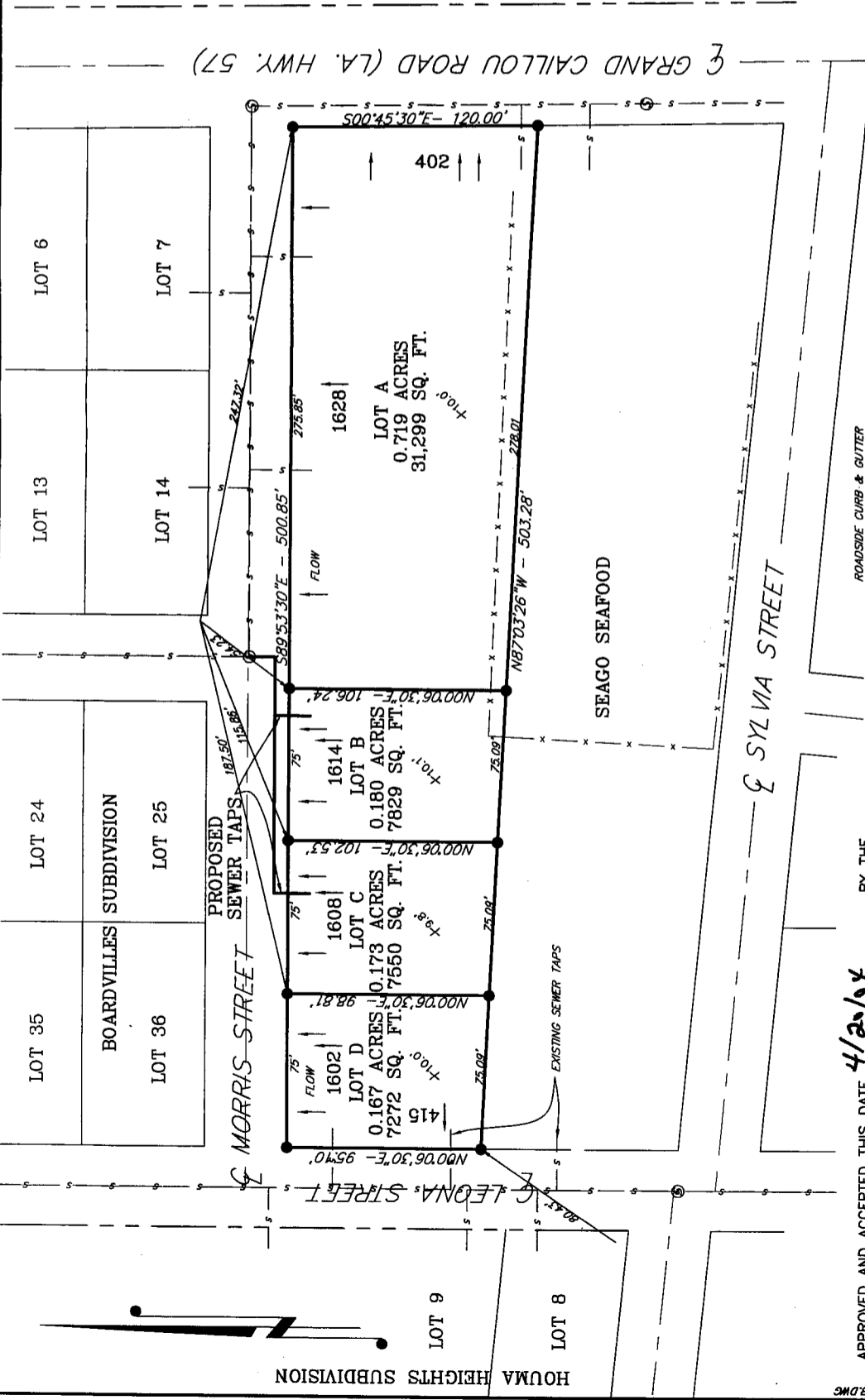
DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.

[Signature]
Signature of Owner or Authorized Agent



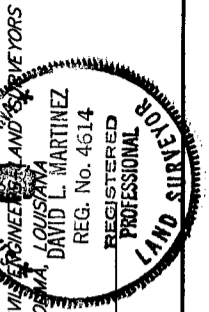
LAND USE:
PROPERTY ZONE C-2



NOTE: REFERENCE BEARINGS TAKEN FROM PLAT PREPARED BY S. ALLEN MUNSON ENTITLED "MAP SHOWING SURVEY OF PROPOSED STREET ACROSS PROPERTY BELONGING TO HARRY F. HELIER AND ETTIE HELIER LOTTINGER LOCATED IN THE CITY OF HOUMA, LOUISIANA." DATED: JUNE 16, 1958

T. BAKER SMITH & SON, INC.
FEBRUARY 26, 2004
REV.: MARCH 11, 2004
REV.: APRIL 5, 2004

DIVISION OF PROPERTY
BELONGING TO JAMES & VICKY CHAISSON
LOCATED IN SECTION 105, T17S-R17E
TERREBONNE PARISH, LOUISIANA



APPROVED: *David L. Martinez*
DAVID L. MARTINEZ
L.A. LAND SURVEYOR REG. NO. 4614

- LEGEND:
- DENOTES 3/4" G.I.P. SET
 - DENOTES 3/4" G.I.P. PND.
 - DENOTES TELEPHONE LINE
 - DENOTES GAS LINE
 - DENOTES WATER LINE
 - DENOTES POWER LINE
 - DENOTES POWER POLE
 - DENOTES FIRE HYDRANT
 - DENOTES LIGHT POLE
 - DENOTES ELEVATION
 - ⊙ DENOTES MANHOLE
 - DENOTES SEWER TAP

ROADSIDE CURB & GUTTER

APPROVED AND ACCEPTED THIS DATE 4/20/04 BY THE

HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.
APPROVED: *Jeanette Givola-Lamp* FOR *Traci*

ALL TREATED SEWERAGE EFFLUENT SHALL BE DISCHARGED INTO PUBLIC ROADSIDE DITCHES AND/OR DRAINAGE SYSTEMS. THE OWNERS OF THESE TRACTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.

THIS TRACT IS LOCATED IN ZONE B AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PLANET NO. 220020A 0005C, DATED MAY 19, 1991

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH URBAN AREA SURVEYS INDICATED IN THE ABOVE STANDARDS.



CITY OF HOUMA ZONING COMMISSION
P.O. BOX 6097
HOUMA, LA 70361
(985)873-6563

ZLU09/6
Dist 1

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator.

PLEASE COMPLETE THE FOLLOWING - NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: 2/27/09

Joseph C. Fox
Applicant's Name

127 Simmons Drive Houma LA 70363
Address City State Zip

223-3300
Telephone Number (Home) (Work)

100%
Interest in Ownership (Owner, etc.)

109 Simmons Drive Revised Tract "B", a portion of Honduras
Address of Property to be Rezoned & Description (Lot, Block, Subdivision) ~~Plantation S/D~~

Section 105, T17S-R17E

Zoning Classification Request:

From: C-3 To: R-3

Previous Zoning History: no _____ No _____ Yes

If Yes, Date of Last Application: none

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

_____ **ERROR.** There is a manifest error in the ordinance.

_____ **CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

_____ **INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

_____ **SUBDIVISION OF LAND.** The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. **Owner wants to place a modular home on this tract.**
Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. **Legal Description:** The legal description of only the property to be rezoned.

4. **Market Information:** Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. Development Schedule: Indicate a time schedule for the beginning and completion of development planned by the applicant:

Begin when approved to be completed in 60 days more or less

6. Effect of the Amendment: On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

yes

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:

yes

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

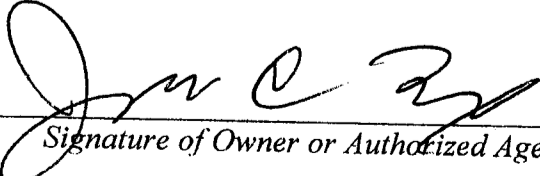
Minimum Charge - \$25.00;

Maximum Charge - \$100.00

I (We) own 0.24 acres. A sum of \$25.00 dollars is enclosed and made a part of this application.

DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.

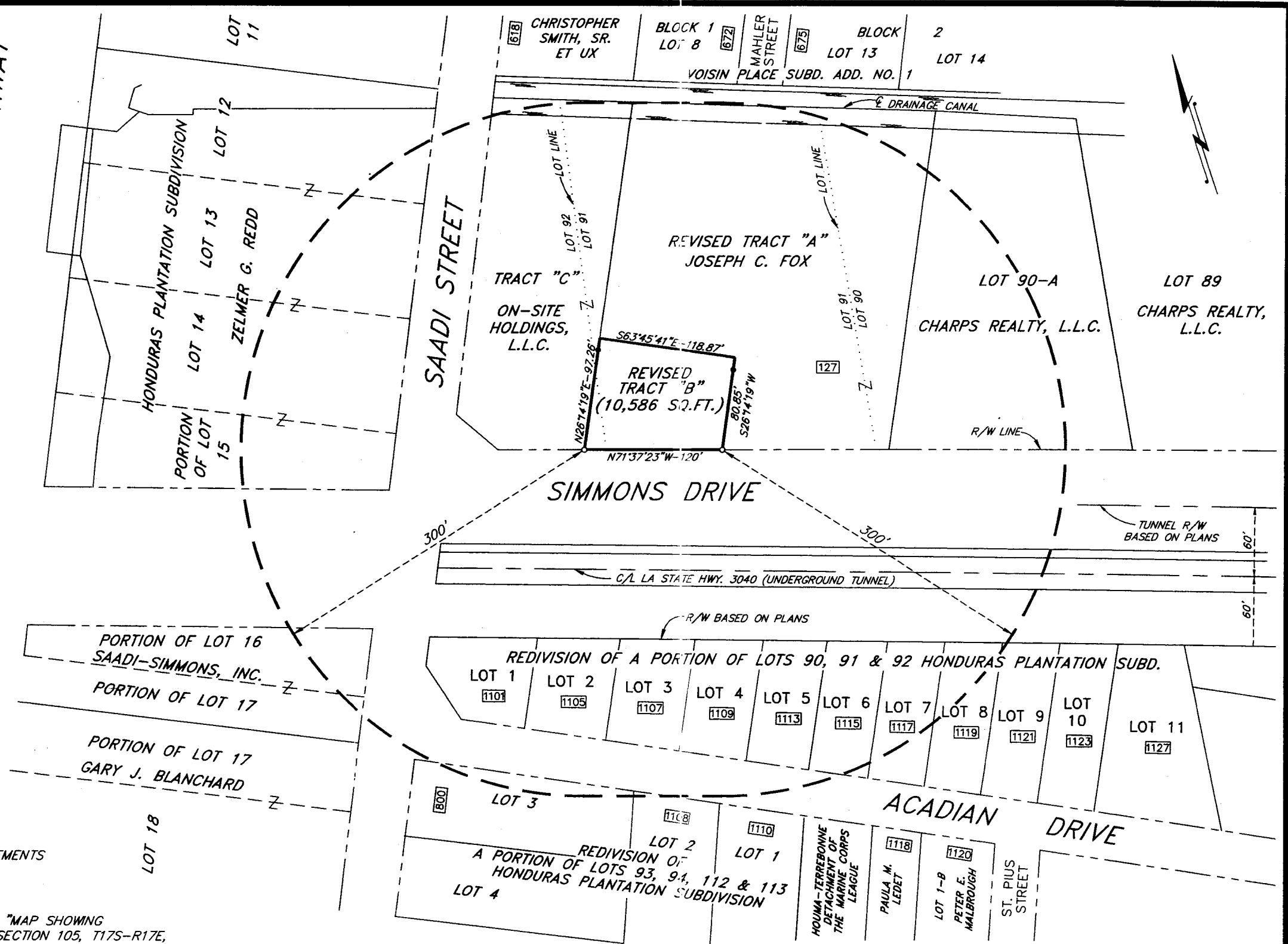


Signature of Owner or Authorized Agent



VICINITY MAP

GULF INTRACOASTAL WATERWAY



APPROVED AND ACCEPTED THIS DATE _____
 BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY _____ FOR _____

THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, RIGHT-OF-WAYS, EASEMENTS OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

REFERENCE MAPS:

- 1) THIS SURVEY BASED ON MAP PREPARED BY CHARLES L. McDONALD ENTITLED "MAP SHOWING A PORTION OF LOT 90 OF HONDURAS PLANTATION SUBDIVISION LOCATED IN SECTION 105, T17S-R17E, TERREBONNE PARISH, LOUISIANA" AND DATED JUNE 26, 1997.
- 2) "SURVEY OF LOTS 12, 13, 14 & A PORTION OF LOT 15 HONDURAS PLANTATION SUBDIVISION IN SECTION 105, T17S-R17E, TERREBONNE PARISH, LOUISIANA" AND DATED JUNE 7, 2000. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

THIS PROPERTY IS LOCATED IN ZONE "C" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 220220, PANEL NO. 0005, SUFFIX "C", AND DATED MAY 19, 1981. (ZONE "C" IS AN AREA OF MINIMAL FLOODING). F.E.M.A. ADVISORY PANEL NO. LA-Q103 DOES NOT AFFECT THIS PROPERTY.

THIS MAP WAS PREPARED FOR INFORMATIONAL PURPOSES FOR SUBMITTAL TO THE HOUMA TERREBONNE REGIONAL PLANNING COMMISSION AND IS NOT IN FULL COMPLIANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

JOB NO. : 92 FIELD BOOK : LOOSE ADDRESS : 127 SIMMONS DR. CAD NAME : 127_SIMMONS_DRIVE_ZONING_MAP
 DRAWN BY : KM/KK PAGES : LEAF SURVEY FILE : SAADI FOLDER : SAADI SIMMONS

LEGEND:
 ● INDICATES 5/8" IRON ROD SET
 ○ INDICATES 5/8" IRON ROD FOUND



PLAT PREPARED FOR
 REZONING OF TRACT "B"
 SECTION 105, T17S-R17E,
 TERREBONNE PARISH, LOUISIANA
 FEBRUARY 26, 2009 SCALE: 1" = 100'

Kenneth L. Rembert
 KENETH L. REMBERT, SURVEYOR
 635 SCHOOL ST., HOUMA, LA.

CITY OF HOUMA ZONING COMMISSION
P.O. BOX 6097
HOUMA, LA 70361
(985)873-6563

ZLU09/7

Dist 1

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies, and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator.

PLEASE COMPLETE THE FOLLOWING - NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: 2/28/09

Randy Piazza
 Applicant's Name

<u>321 Joseph Street</u>	<u>Houma</u>	<u>LA</u>	<u>70363</u>
Address	City	State	Zip

<u>851-6409</u>	
Telephone Number (Home)	(Work)

100%
 Interest in Ownership (Owner, etc.)

219 Carolyn Ave.
 Address of Property to be Rezoned & Description (Lot, Block, Subdivision)

Lot 9, Blk 4, Grand Caillou Heights Subd.

Zoning Classification Request:

From: R-1 To: R-2M

Previous Zoning History: X No Yes

If Yes, Date of Last Application: none

AMENDMENT POLICY

1. REASONS FOR THIS AMENDMENT:

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

_____ ERROR. There is a manifest error in the ordinance.

CHANGE IN CONDITIONS. Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

_____ INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY. Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

_____ SUBDIVISION OF LAND. The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. LEGAL PLAT OF PROPERTY TO BE REZONED: On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. Legal Description: The legal description of only the property to be rezoned.

4. Market Information: Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. **Development Schedule:** Indicate a time schedule for the beginning and completion of development planned by the applicant:

Within 6 months of approval ---To be completed 12 months
more or less

6. **Effect of the Amendment:** On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

Randy Piazza

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

Yes

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:

Yes

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
 \$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

I (We) own 0.3 acres. A sum of \$25.00 dollars is enclosed and made a part of this application.

DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.

Randy Piazza
Signature of Owner or Authorized Agent



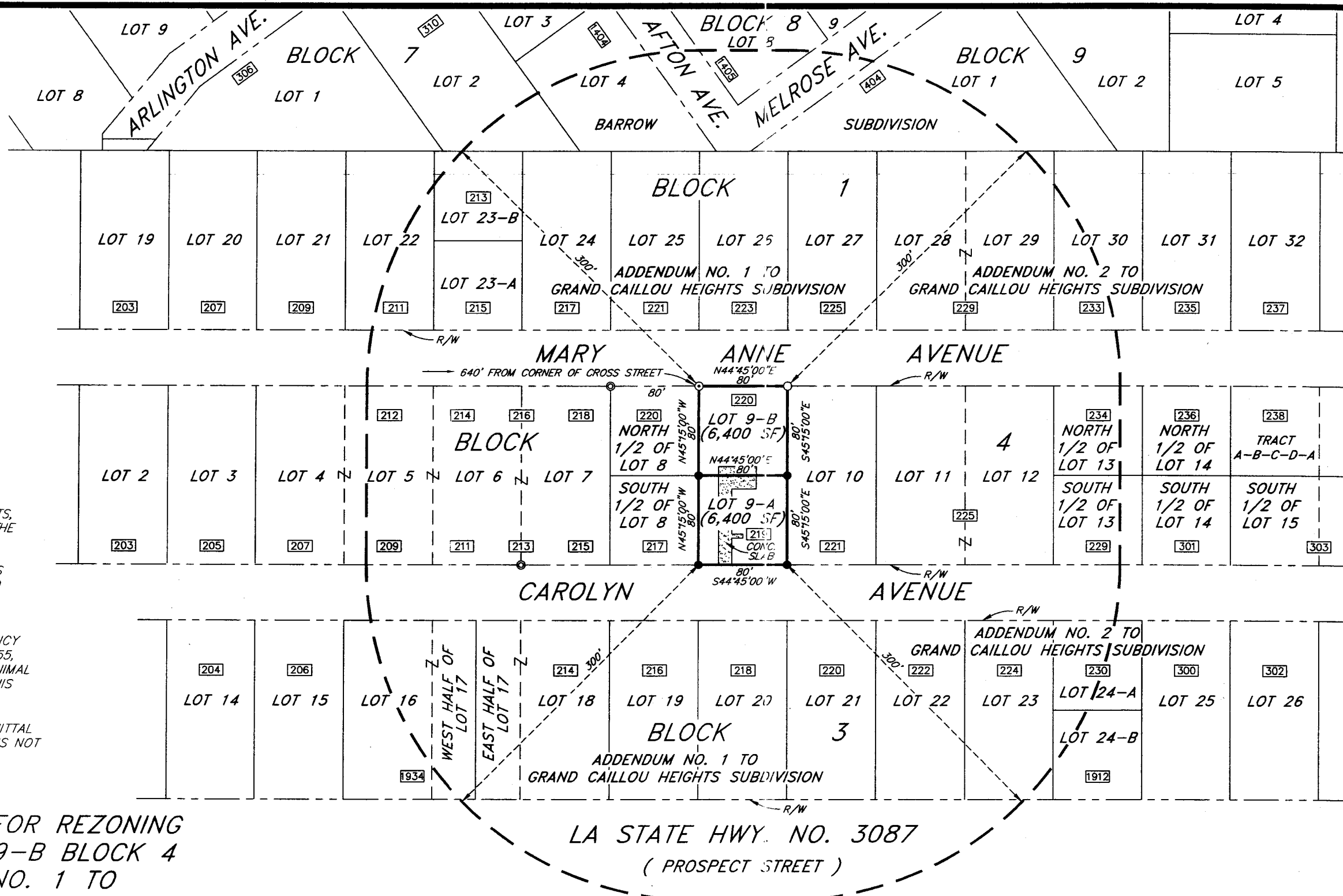
VICINITY MAP

THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, EASEMENTS, RIGHT-OF-WAYS OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE PROPERTY SHOWN.

THIS MAP BASED ON MAP RECORDED UNDER COB 188, FOLIO 140 AS FILED IN THE TERREBONNE PARISH CLERK OF COURT OFFICE AND NO ADDITIONAL TITLE RESEARCH WAS MADE BY KENETH L. REMBERT SURVEYORS. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

THIS LOT IS LOCATED IN ZONE "C" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 225206, PANEL NO. 0255, SUFFIX "C" AND DATED MAY 1, 1985. (ZONE "C" IS AN AREA OF MINIMAL FLOODING). F.E.M.A. 2006 ADVISORY PANEL NO. LA-Q104 PLACES THIS PROPERTY IN ZONE "A" WITH A BASE FLOOD REQUIREMENT OF 5'.

THIS MAP WAS PREPARED FOR INFORMATIONAL PURPOSES FOR SUBMITTAL TO THE HOUMA TERREBONNE REGIONAL PLANNING COMMISSION AND IS NOT IN FULL COMPLIANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.



PLAT PREPARED FOR REZONING
 OF LOT 9-A & 9-B BLOCK 4
 ADDENDUM NO. 1 TO
 GRAND CAILLOU HEIGHTS SUBDIVISION
 LOCATED IN SECTION 105, T17S-R17E,
 TERREBONNE PARISH, LOUISIANA

MARCH 2, 2009

SCALE: 1" = 100'



Kenneth L. Rembert
 KENETH L. REMBERT, SURVEYOR
 635 SCHOOL ST., HOUMA, LA.

LEGEND:

- INDICATES 1/2" IRON ROD FOUND
- INDICATES 3/4" IRON PIPE FOUND
- ⊙ INDICATES 8" SPIKE SET
- INDICATES 5/8" IRON ROD SET

APPROVED AND ACCEPTED THIS DATE _____
 BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY _____ FOR _____

CITY OF HOUMA ZONING COMMISSION
P.O. BOX 6097
HOUMA, LA 70361
(985)873-6563

ZLU09/8
Dist. 3

APPLICATION FOR
PLANNED BUILDING GROUP APPROVAL

GUIDRY BROS. RENTAL PROPERTIES, LLC.
Applicant's Name

13290 PALM ST. VACHERIE LA. 70090
Address City State Zip Code

3/18/09 1 985-209-2957
Date Telephone Number(s)

100%
Interest in Ownership (owner, etc.)

PROJECT INFORMATION:

1. Name of Project: GUIDRY BROS. RENTAL PROPERTIES, LLC.
2. Location: 720 + 724 BAYOU GARDENS BLVD
3. Zoning District: R-2M
4. Total Land Area: 140' x 149'
5. Total Number of Units: 4 - TOTAL DUPLEXES (CONSTRUCTING ONE)
6. Gross Floor Area: 8526 (2079)
7. Total Parking Spaces Provided: 20
Total Parking Spaces Required: 16
8. Approximate Cost of Work Involved: # 200,000.00
9. Has any previous application been made: NO YES

If Yes, please describe: _____

PLEASE ATTACH THE FOLLOWING INFORMATION:

- A. Site Plan Depicting the Following:
 - 1) All proposed structures and setbacks;
 - 2) Parking;
 - 3) Emergency vehicle access;
 - 4) Lighting;
 - 5) Fire hydrant locations;
 - 6) Loading areas (if applicable);
 - 7) All public and private easements and rights-of-ways;
 - 8) Driveways;
 - 9) Buffer protection (if applicable);
 - 10) Play areas (if applicable);
 - 11) Water main locations
- B. Legal Description of Subject Property
- C. Drainage Plans and Elevations
- D. List of Names and/or Property Owners and Addresses of adjacent property owners.

APPLICATION FEE SCHEDULE:

The City of Houma has adopted the following fee schedule:

- 1. Planned Building Groups: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

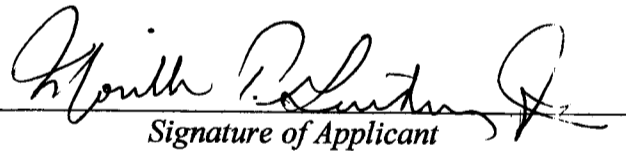
Minimum Charge - \$25.00;

Maximum Charge - \$100.00

Note: Acreage is based on total area, exclusive of streets.

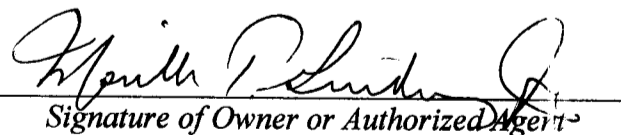
I (We) own < 1 acre acres. A sum of 25.00 dollars is enclosed and made a part of this application.

MORILLE T. GUIDRY, JR.


Signature of Applicant

3/18/09
Date

The undersigned is owner(s) of the entire land area included in the proposal and signing indicates concurrence with the application.


Signature of Owner or Authorized Agent

3/18/09
Date

EXHIBIT "A"

A CERTAIN TRACT OF LAND OR PARCEL OF LAND, together with all of the buildings and/or improvements thereon, and all rights, ways, privileges, servitudes, advantages and appurtenances, and prescriptions and prescriptive rights, both liberative and acquisitive, thereunto belonging or in anywise appertaining, situated in the Parish of Terrebonne, State of Louisiana, in Section 9, Township 16 South, Range 17 East, being **Lot Eight-A (8-A) and Lot Nine-A (9-A) of Bayou Gardens Subdivision, Addendum No. 14**, as per plan of survey made by T. Baker Smith & Sons, Inc., Professional Consultants, dated November 19, 2004, with a copy of said plan of survey recorded in COB 1932, folio 756, under entry No. 1218833 of the records of Terrebonne Parish, Louisiana, which plan of survey is made a part hereof by reference hereto, and in accordance therewith, **Lot Eight-A (8-A) of Bayou Gardens Subdivision, Addendum No. 14**, measures 70.425 feet front on the southern side of a public street known as Bayou Gardens Blvd., by a depth on its eastern sideline of 150.12 feet, by a depth on its western sideline of 149.85 feet, and with a width on its rear or southern boundary of 70.425 feet, and is bounded on the north by the public street known as Bayou Gardens Blvd. on which said lot fronts, on the west by Lot Seven-A (7-A) of said subdivision, on the east by Lot Nine-A (9-A) of said subdivision, and in the rear or south by Bayou Gardens Subdivision, Addendum No. 4, Phase B, and in accordance therewith, **Lot Nine-A (9-A) of Bayou Gardens Subdivision, Addendum No. 14**, measures 70.62 feet front on the southern side of a public street known as Bayou Gardens Blvd., by a depth on its eastern sideline of 149.90 feet, by a depth on its western sideline of 150.12 feet, and with a width on its rear or southern boundary of 70.62 feet, and is bounded on the north by the public street known as Bayou Gardens Blvd. on which said lot fronts, on the west by Lot Eight-A (8-A) of said subdivision, on the east by Lot Ten-A (10-A) of said subdivision, and in the rear or south by Bayou Gardens Subdivision, Addendum No. 4, Phase B.

For derivation of title, see Act of Cash Sale from Luke E. Grezaffi, Jr. and Mary Belle Roberts Grezaffi to Robert Ray Grezaffi and Debra Ann Grezaffi Tillery dated April 7, 1994, recorded in COB 1416, folio 407, under entry No. 936515 of the records of Terrebonne Parish, Louisiana, and Judgment of Possession rendered in the matter entitled "Succession of Ray R. Grezaffi," No. 17530 of the Probate Docket of the 32nd Judicial District Court, Parish of Terrebonne, State of Louisiana, rendered on October 14, 2005, recorded in COB 1939, folio 102, under entry No. 1221653 of the records of Terrebonne Parish, Louisiana.

LESS AND EXCEPT:

Brandon Michael Grezaffi, et al, reserve unto themselves, their heirs, successors and/or assigns, all of their rights, title and interest in and to all of the oil, gas and other minerals and mineral rights in, on, under or appertaining to the hereinabove described property, with the exception that the surface of said property shall never be used in connection with this reservation.

SUBJECT TO:

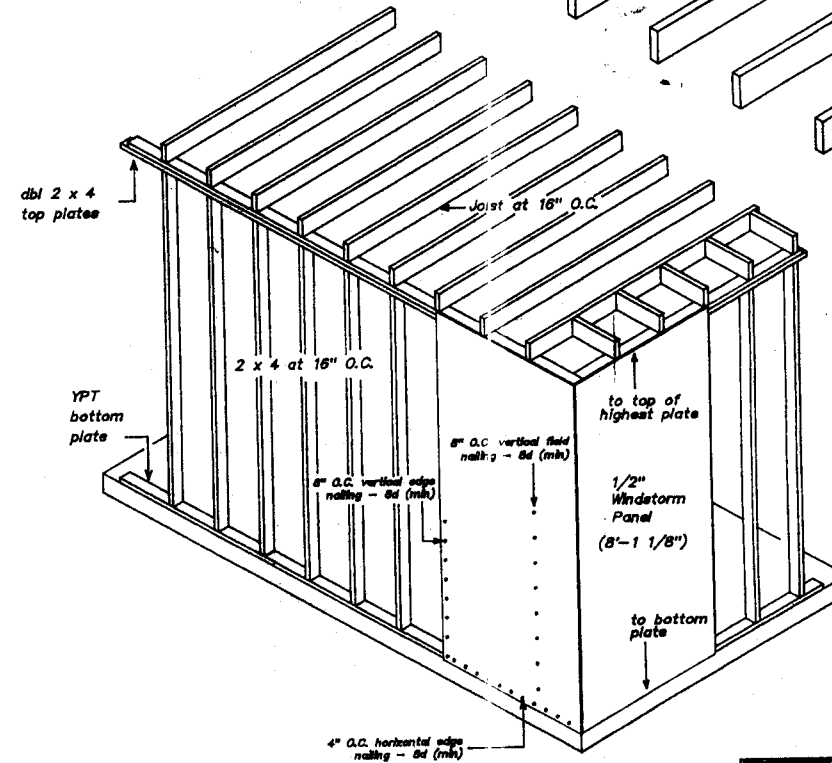
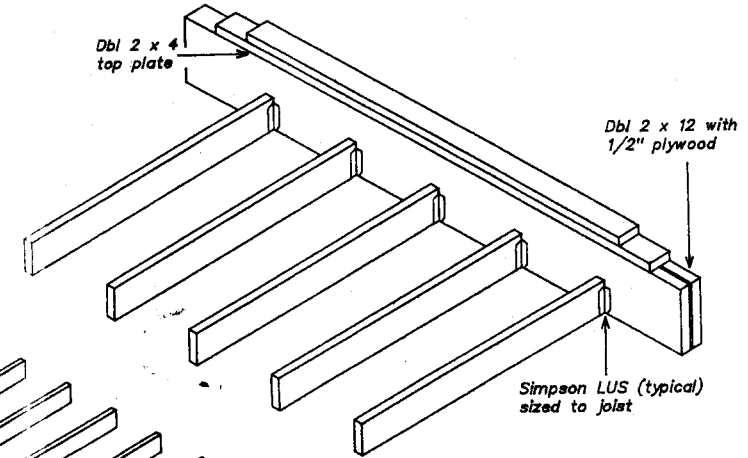
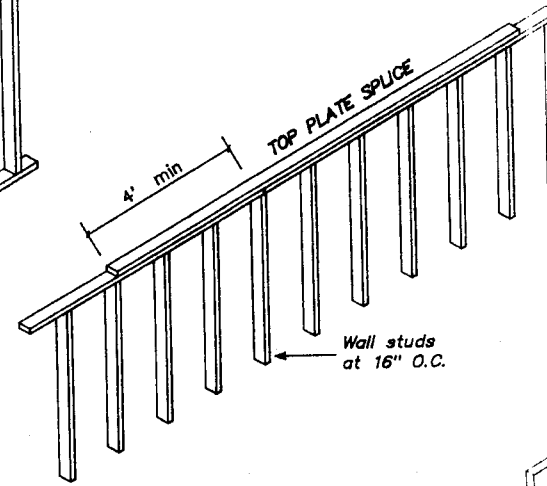
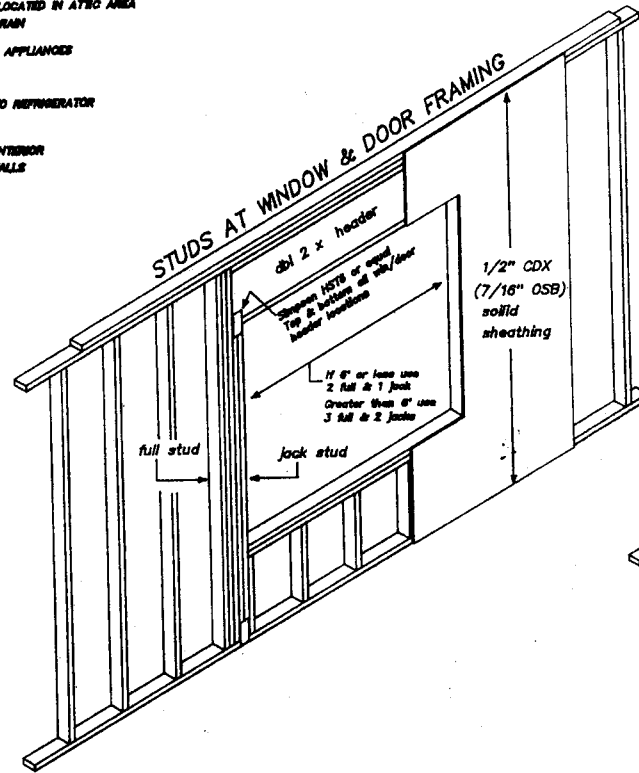
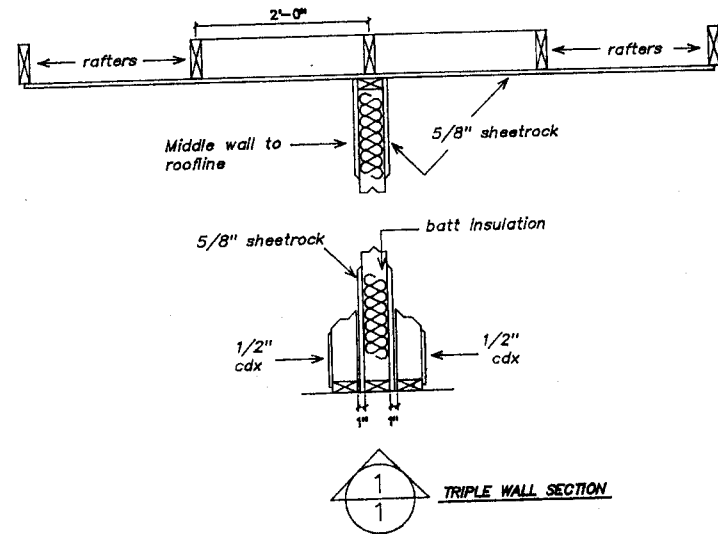
1. The following restrictive covenants shall be deemed to be covenants running with the land binding on Purchaser, their heirs, successors and/or assigns of the above-described subject lots, to-wit:
 - a. No noxious or offensive activity shall be permitted to occur on the subject lots, nor shall anything be operated thereon which may create a legal nuisance to the adjoining lot owners.
 - b. Use of the subject lots as a junk or scrap yard or any other unsightly activity is expressly prohibited.
 - c. No alcoholic beverages shall be sold on the premises, and barrooms and night clubs are expressly prohibited on the subject lots.
 - d. All buildings placed on the subject lots shall have a minimum set back from the right of way line of Bayou Gardens Blvd. of twenty-five (25') feet, and rear and sideline set back shall be at least five (5') feet.
 - e. No temporary structures, mobile homes, trailers, tents, shacks, garages or barns shall be occupied or used on the subject lots as a residence at any time.
 - f. The subject lots are restricted to multi-family dwellings or structures, except that single family residential use shall be permitted.
2. All rights of way and/or easements for utilities and/or drainage which are more particularly shown on the plat of "Bayou Gardens Subdivision, Addendum No. 14," recorded in COB 1932, folio 756, under entry No. 1218833 of the records of Terrebonne Parish, Louisiana, as well as any servitudes granted to public or private utilities which may be of record.
3. Any and all other rights of way, servitudes, and/or easements, apparent or of record or imposed by law.
4. Any and all other prior mineral reservations and/or mineral leases valid and extant, affecting said property.

The municipal address of Lot 8-A Bayou Gardens Subdivision, Addendum No. 14 is 720 of Bayou Gardens Blvd., Houma, Louisiana 70364.

The municipal address of Lot 9-A Bayou Gardens Subdivision, Addendum No. 14 is 724 of Bayou Gardens Blvd., Houma, Louisiana 70364.

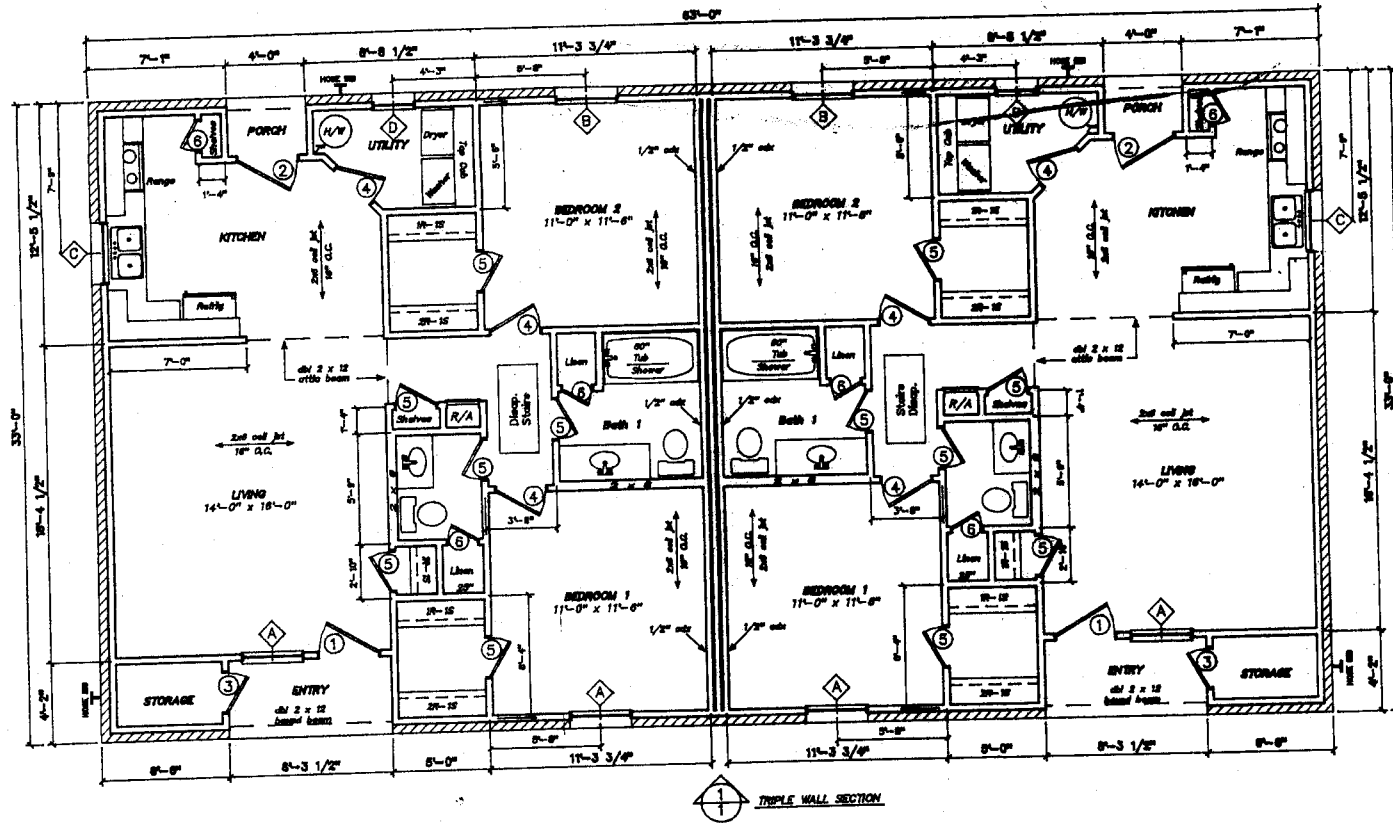
NOTE: PLANS PROVIDED AS DRAFTING SERVICE AND SHOULD BE USED FOR DIMENSIONING AND ILLUSTRATION PURPOSES ONLY.
 DRAWER OF THESE PLANS ASSUMES NO LIABILITY FOR HOME BEING CONSTRUCTED FROM THESE DRAWINGS.
 PLAN DRAWN IN ACCORDANCE/INTERPRETATION OF 2008 IRC BUILDING CODES. ALL CONTRACTORS MUST COMPLY TO CODES IN THEIR AREA ... AND ADJUST DESIGN AS NEEDED.

CENTRAL AIR UNIT(S) LOCATED IN ATTIC AREA WITH DWP PAN AND DRAIN
 VERIFY USE OF GAS APPLIANCES w/OWNER
 SUPPLY WATER LINE TO REFRIGERATOR FOR ICEMAKER
 NOTE LOCATIONS OF INTERIOR 1/2" SOLID SHEATH WALLS



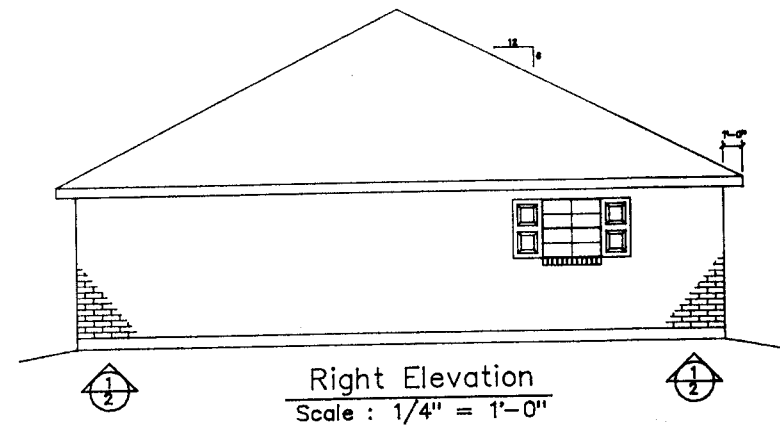
DOOR AND WINDOW SCHEDULE		
ITEM	SIZE	DESCRIPTION
1	3'-0" x 6'-0" x 1 3/4"	Exterior entrance door (6 panel - vary design w/owner)
2	3'-0" x 6'-0" x 1 3/4"	Exterior entrance door (half-glass)
3	3'-0" x 6'-0" x 1 3/4"	Exterior entrance door (8 panel)
4	2'-0" x 6'-0" x 1 3/4"	Interior raised panel door unit
5	2'-0" x 6'-0" x 1 3/4"	" " " "
6	1'-0" x 6'-0" x 1 3/4"	" " " "
A	3'-0" x 6'-0"	Aluminum or vinyl window unit w/insulated glass
B	3'-0" x 4'-0"	" " " "
C	3'-0" x 3'-0"	" " " "
D	2'-0" x 3'-0"	" " " "

LIVING	1933
PORCH'S	90
STORAGE	58
TOTAL	2079 SQ FT

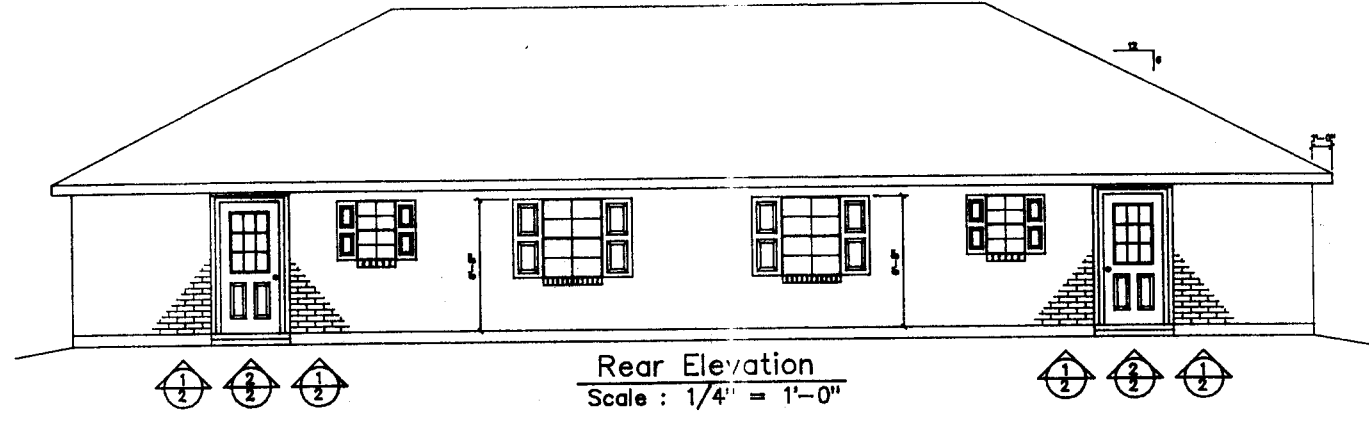


Plan for:
Guidry Brother's Homes

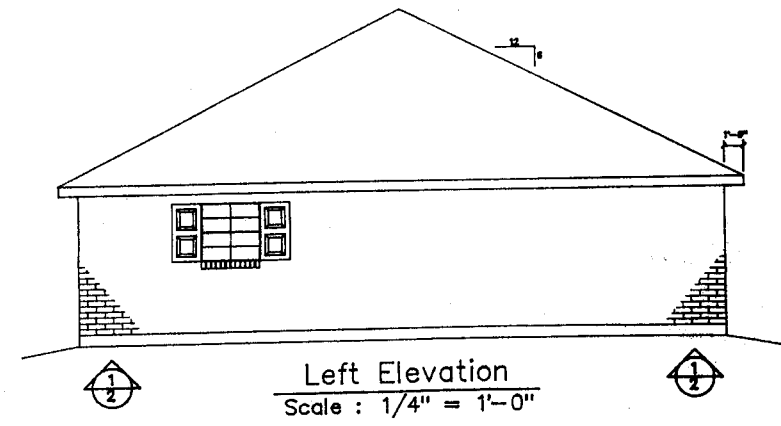
drawn by:
 Donna Gibson
 142 Kraemer Lane
 Thibodaux, LA, 70301
 855-633-8887
 # GBH0727 - 1



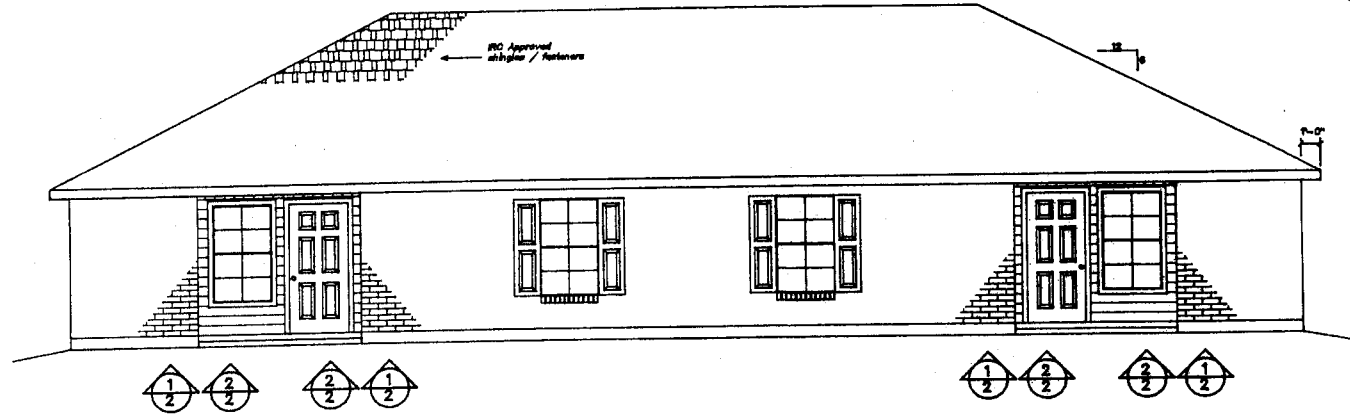
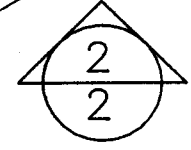
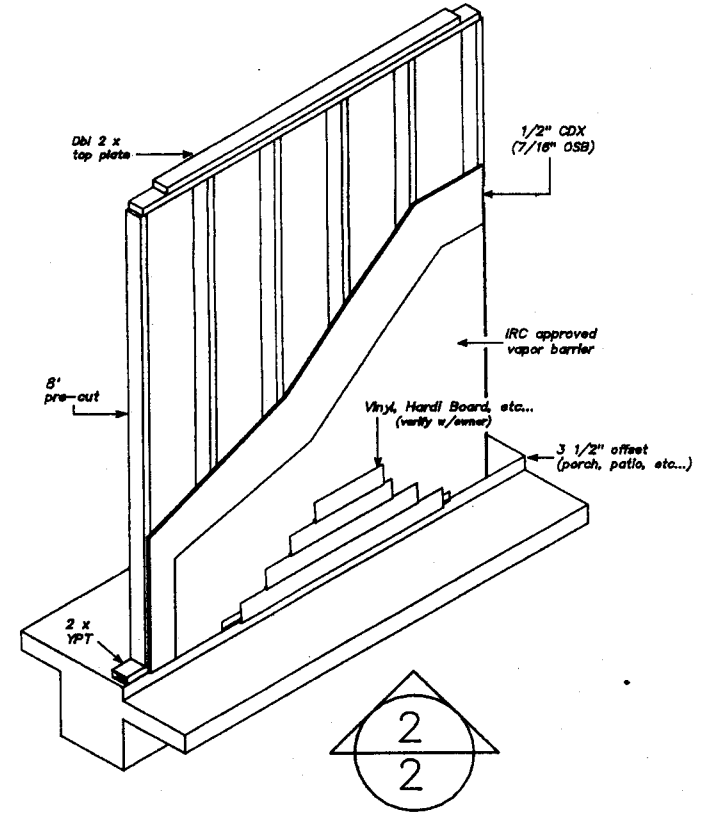
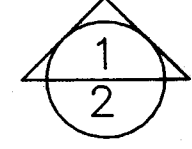
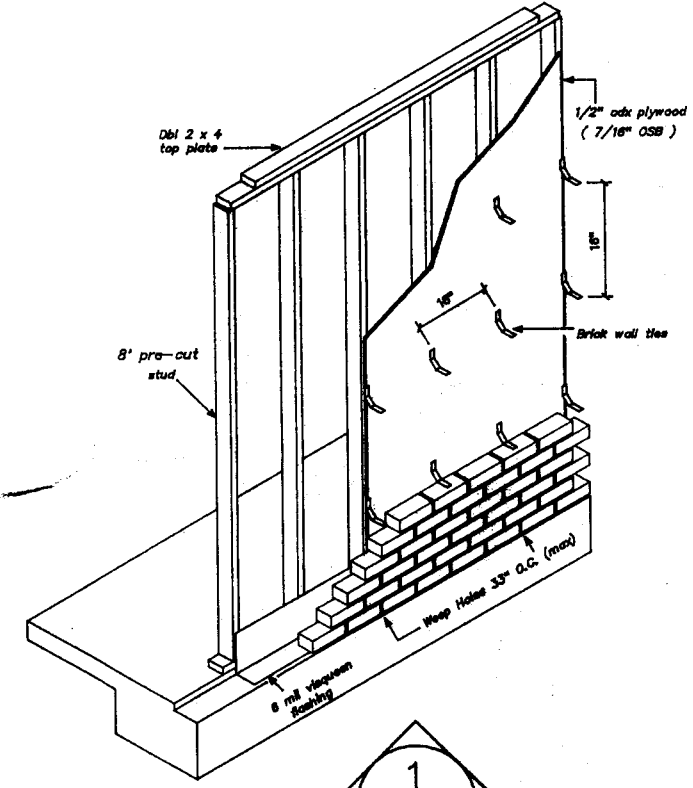
Right Elevation
Scale : 1/4" = 1'-0"



Rear Elevation
Scale : 1/4" = 1'-0"

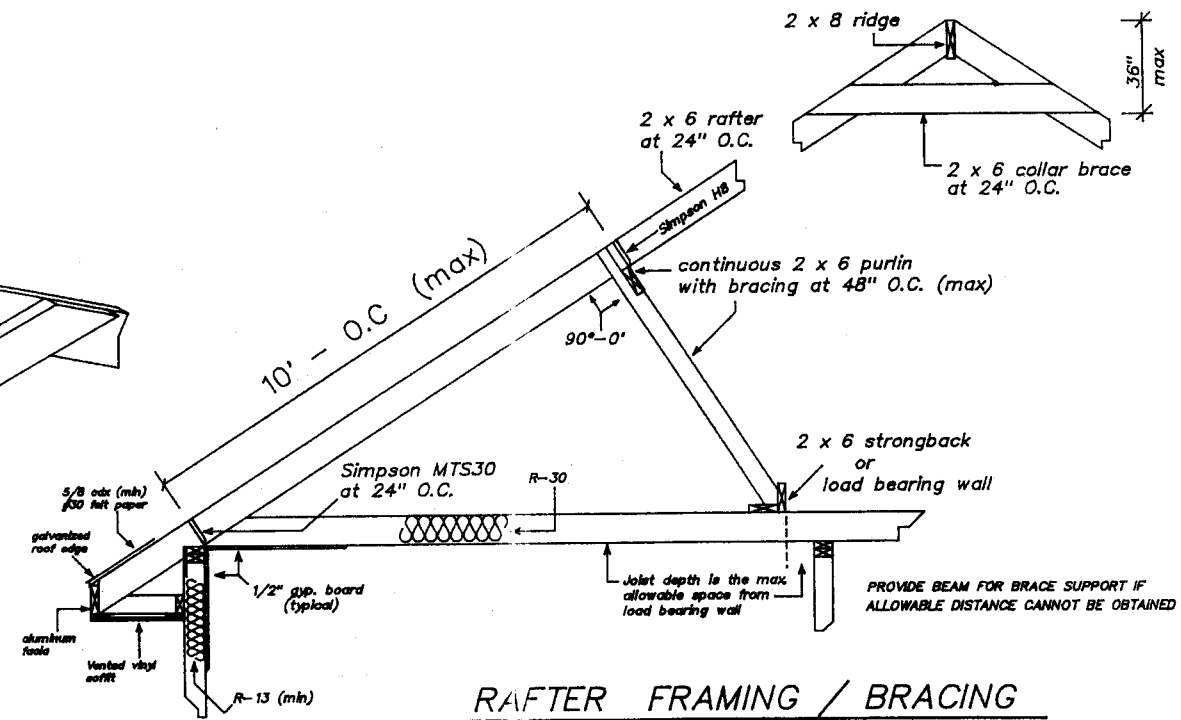
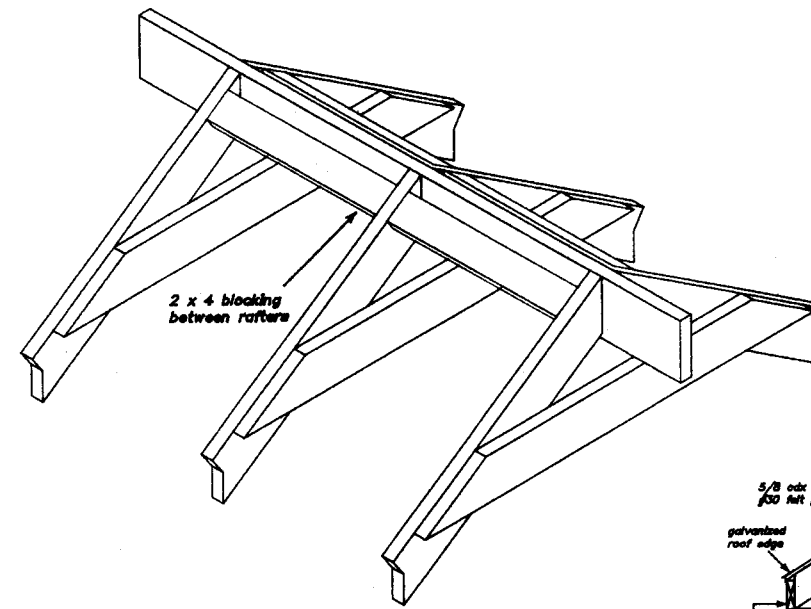
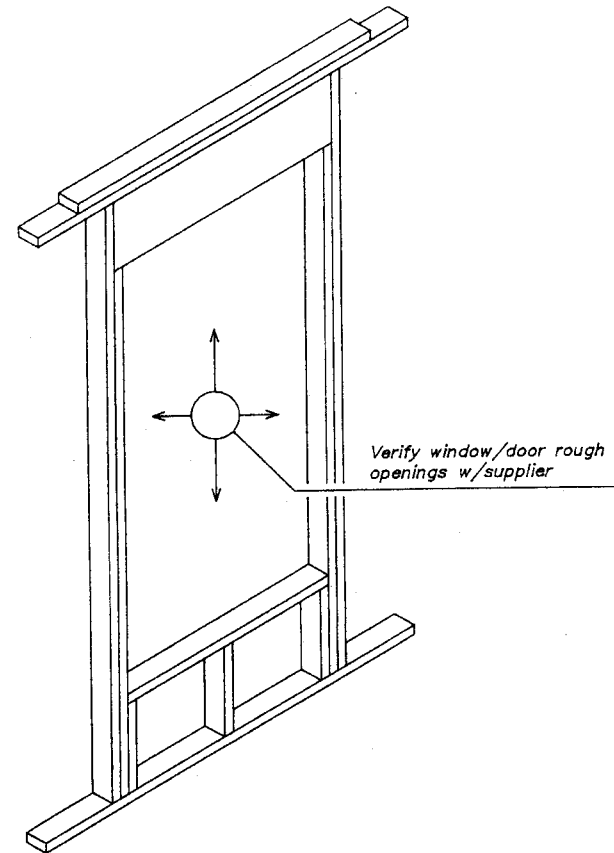


Left Elevation
Scale : 1/4" = 1'-0"



Front Elevation
Scale : 1/4" = 1'-0"

Plan for :	drawn by :
Guldry Brother's Homes	Dennis Chisoon 142 Kraemer Lane Thibodaux, LA. 70301 985-633-2687
	# GBH0727 - 2

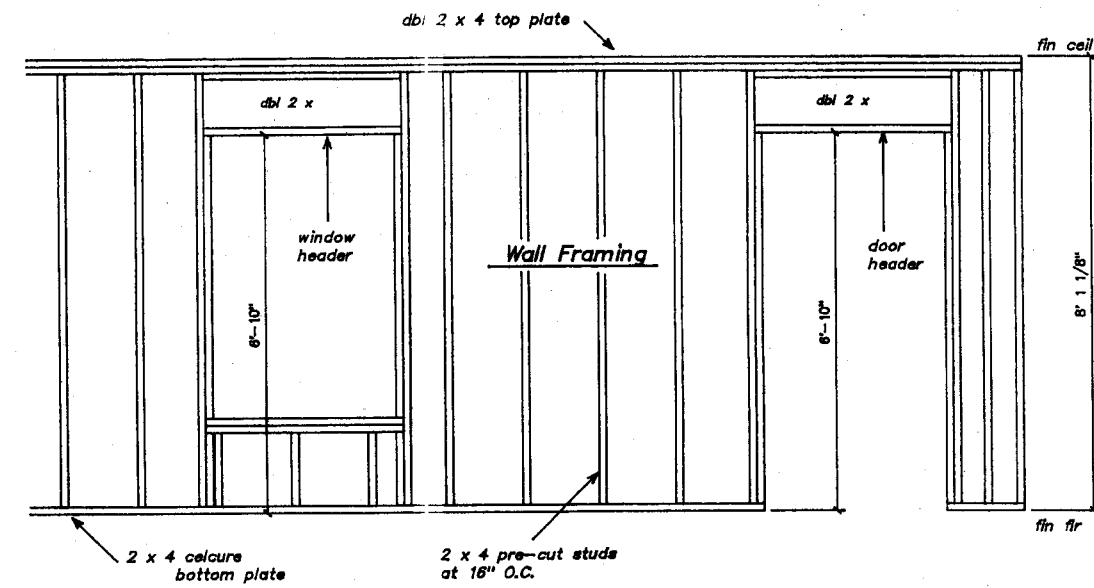
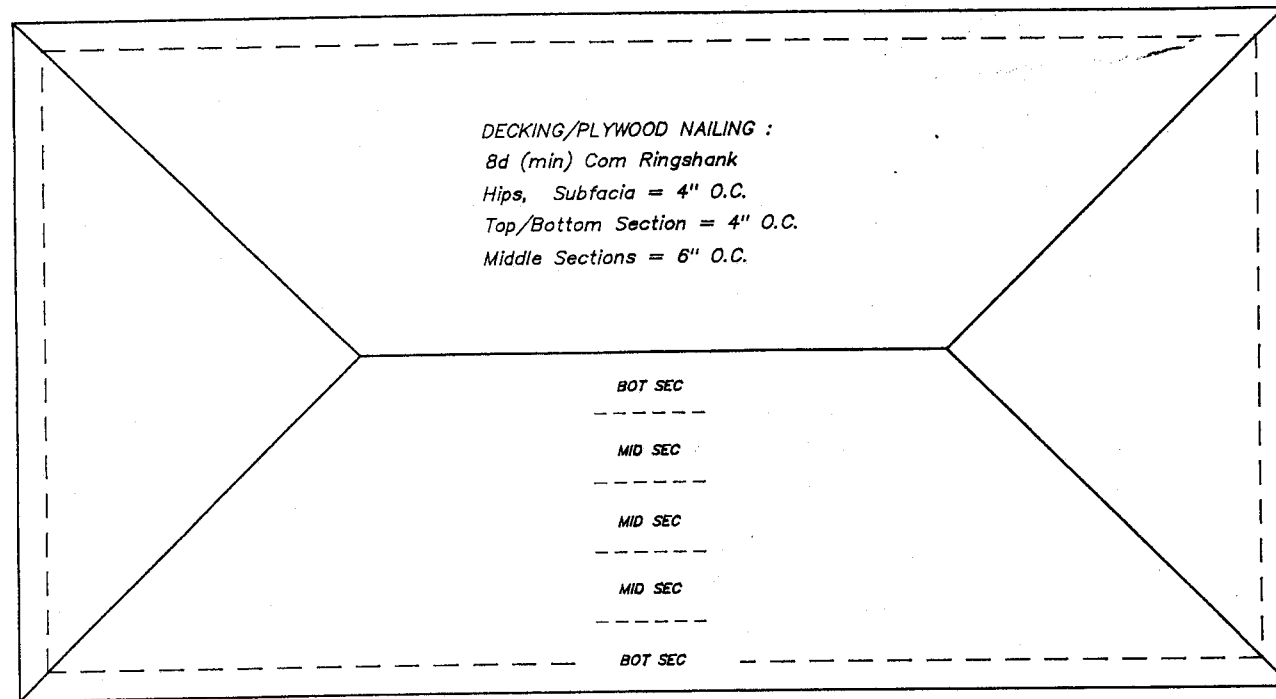


Roof Layout

Scale : 1/4" = 1'-0"

ATTIC VENTILATION - ridge vents and vented vinyl soffit (wind turbine optional)

RAFTER FRAMING / BRACING



Plan for :	drawn by :
Guidry Brother's Homes	Danna Chissem 142 Kraemer Lane Thibodaux, LA, 70301 985-633-9887
	# GBH0727 - 3

LEGEND

Single End Stressing Double End Stressing

RECESSED: highlighted areas may be recessed (See Architectural)

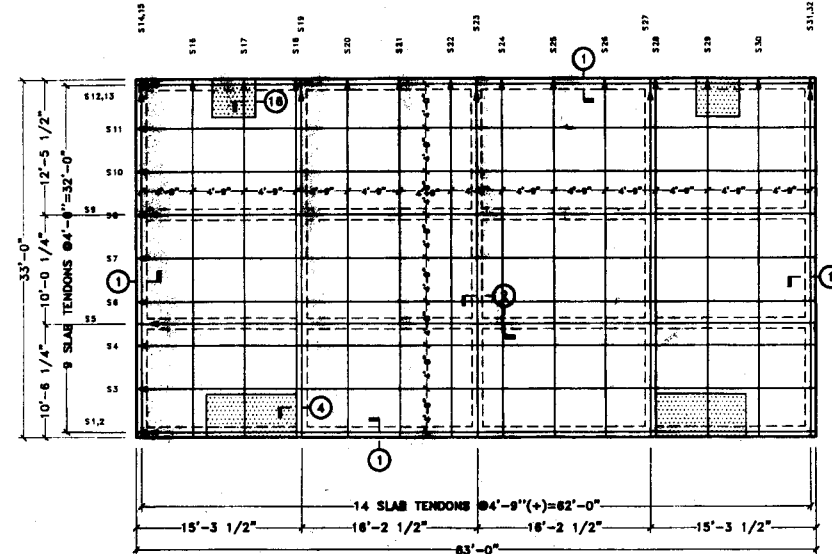
REBAR: This beam to be 4 #5 Rebar, (2 Top, 2 Bottom) w/ #3 Stirrups @ 18" o.c.

WWF: WWF 6x12-0/1 (Place on top of tendons or at mid-depth of slab)

~ELONGATION CHART~

Tendon Number	Quantity	Length	Calculated Elongation	Allowable Elongation
S1	10	113	1.3	1.5
S14	10	332	19	23

Total Cable LT. W/O Tails = 1668'
Total Number of Cuts = 32



FOUNDATION PLAN 1/8"=1'-0"
 4" THICK CONCRETE SLAB
 (CONCRETE: 3,000 PSI MIN. COMPRESSIVE STRENGTH AT 28 DAYS)
 1 LAYER OF 6 MIL. VAPOR BARRIER
 MAX. FILL HEIGHT ALLOWED = 12 INCHES

INSTALLER NOTES

NONE

- GENERAL NOTES:**
- No field supervision provided under this seal. Contractor shall perform all work in accordance with all local/federal codes, regulations & requirements. It is recommended that this plan be kept on site at all times during construction for coordinating with other trades and inspections if required by municipalities.
 - This plan is to be used for footing layout and tendon placement only.
 - Beam dimensions shown are the minimum required and may not be reduced, or enlarged without approval by the engineer. Dish out around anchor bolts to provide a minimum of 6 inches of concrete cover. Plumbing & conduit shall not fall within slab section or beams shown on this drawing.
 - Polyethylene vapor barrier shall be placed under the entire slab area & should be draped into the grade beams as shown in the details.
 - Coordinate structural drawings with architectural and electrical/mechanical drawings for all openings, inserts, and other related items.
 - The contractor shall verify all dimensions, drops, offsets, brick ledges and block-outs on architectural plans prior to construction.
 - Floor area utilizing decorative stained/leaved concrete should be brought to design engineer's attention prior to concrete placement for additional reinforcement and jointing consideration.
 - Metal keyed or tooled control joints should be used at exposed slab area's (patio, garage, porch) to minimize the effect of random slab cracking, & should be placed throughout the slab @ 30' on center.
 - N/A.
 - Refer to architectural drawings for locations/details/installation/maintenance of expansion/contraction joints in exterior brick/masonry walls. Brick flashing areas must be extended completely to the edge of the concrete in all directions to prevent bonding to the foundation.
 - Loading of the slab prior to tensioning shall not be done without approval of the post-tension design engineer of record.
 - The foundation shown on this drawing has been designed in accordance with local/federal building code requirements including the PTI (Post-Tensioning Institute) guidelines for design and construction of post-tensioned slabs-on-ground, the American Concrete Institute's guidelines for design of slab-on-grade (ACI-440) and good engineering standard practice. This foundation is not designed for vehicle or rack loading unless noted otherwise.

- CONCRETE**
- All concrete in foundation beams and slabs shall have a minimum 28-day compressive strength as shown on plan and at least 1,500 p.s.i. at the time of stressing. Concrete mix design and materials shall be in accordance with the ACI-301 requirements (latest edition, as appropriate).
 - Calcium chlorides shall NOT be allowed.
 - Contractor shall thoroughly consolidate concrete, especially at tendon anchorages.
- CONCRETE CURING**
- Contractor shall cure concrete in accordance with ACI-308 (latest edition as appropriate) immediately after finishing to control shrinkage cracking.
 - Contractor shall verify any curing compound used is compatible with flooring materials.
- FORMWORK**
- Contractor shall complete all formwork prior to installation (formwork includes brick ledges, drop forms, block outs, depression forms, etc.). Any changes after system is installed will require written approval from Coast Engineering Services prior to concrete placement.
 - Contractor shall remove forms no later than 3 days after placement of concrete.
- BOND BREAKER AND ELASTOMERIC MATERIAL**
- Contractor shall use a bond breaker membrane between slab and brittle flooring materials (brick, tile, etc.) due to possible flexure of slab.
 - Contractor shall inspect floor areas for shrinkage cracking prior to installation of brittle flooring materials. Flooring Contractor shall treat cracks in concrete slab in accordance with dry set mortar manufacturer's recommendation prior to installation of brittle flooring materials. Flooring contractor shall use an elastic bond breaker between any concrete surface and brittle flooring material to prevent bonding of the brittle flooring materials to the foundation. An elastomeric type of adhesive shall be used for installation of brittle flooring material due to possible flexure of slab (C-Cure "M-Flex Sirota 914" or equivalent).
- DEFORMED REINFORCEMENT (REBAR) & WELDED WIRE FABRIC (WWF)**
- Rebar shall conform to ASTM A615, WWF shall conform to ASTM A185 (flat sheets).

- POST-TENSIONING TENDONS**
- All post-tensioning work & materials shall be per project specification section 03300, "Post-Tensioned Foundation Systems at Grade".
 - All pre-stressed steel shall consist of seven wire stress relieved strand conforming to ASTM A-416 Low-Relaxation Strand. Minimum ultimate tensile strength shall be 270,000 p.s.i. Strands shall be coated with a permanent rust preventative lubricant and a plastic sheath. All tendons shall be 1/2" u.n.s. Each tendon shall be initially stressed to 33.0 kips and shall be anchored at 28.9 kips.
 - Tendons should be stressed no later than 14 days and no earlier than 8 days after placement of concrete unless concrete compressive strength can be verified sooner or if partial stressing is indicated on the drawings.
 - Tendons and bars shall be securely supported to prevent both vertical and horizontal movement during placement of concrete. Tendon supports shall be at 4'-6" max. Tendon supports shall not penetrate the vapor barrier.
 - The tendon location at the end of grade beam shall be 5" minimum to 6" maximum from the top of the slab to central gravity of tendons (see sections in this drawing).
 - If tendon sheathing is damaged or removed for 12" or more, it shall be re-sheathed to prevent bonding of the concrete to the tendon.
 - Exposed stressing recesses shall be filled flush with a non-shrink grout. This work shall be performed as soon as practical after stressing by the contractor, but no later than 7 days after stressing.
 - All Tendons in excess of 110' in length are intended to be tensioned from both sides.
 - Post-Tension tendons may be stressed in any sequence and the dead and live ends of the tendons may be reversed from that shown at the convenience of the post-tension contractor.

- SOIL (GEOTECHNICAL)**
- Fill shall be an inert granular material compacted in 6" lifts to 90% standard proctor (or greater as required per governing building officials). The foundation design on this plan is for a maximum fill height as noted on the plan. Placement of fill in excess of this amount will void engineer's design and hold engineer harmless if differential settlement occurs.
 - Soil compaction is the responsibility of Contractor/Owner. Compaction shall be in accordance with ASTM D698. Foundation is designed for minimum allowable bearing capacity of 1200 psf (3.7 c.f.s) AND PH20. Owner should obtain soil report to verify conditions prior to construction. Failure to properly test or compact soil will void engineer's design and hold engineer harmless if differential settlement occurs.
 - Contractor/Owner shall protect foundation from the effects of moisture evaporation due to trees adjacent to the structure. Drying replenishment of moisture to the soil results in a loss and consequent shrinkage of the soil mass. Such shrinkage promotes differential settlement and structure cracking.
 - The contractor/owner shall maintain positive drainage away from the foundation at all times. All runoff water shall be carried away from the slab to prevent saturation of the foundation sub-base fill of all times during construction and throughout the life of the structure. Installation of flowerbeds must not collect water at foundation edges. It is recommended the general contractor inform the owner of these requirements at the time the property title is transferred (see chapters 12 & 13 of "Construction & Maintenance Procedures Manual for Post-Tensioned Slab-on-Ground Construction" by the Post-Tensioning Institute).
 - This foundation has been designed to "float" on the ground surface and to minimize the negative effects of differential soil settlement.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF SLAB PER ARCH. DWGS. PRIOR TO CONSTRUCTION

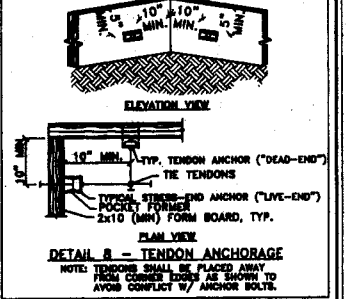
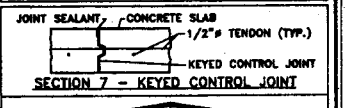
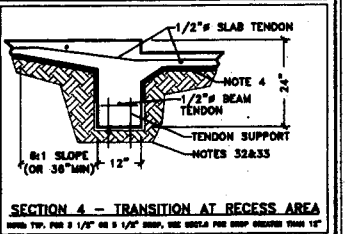
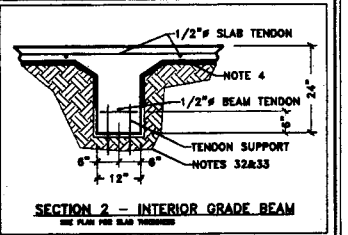
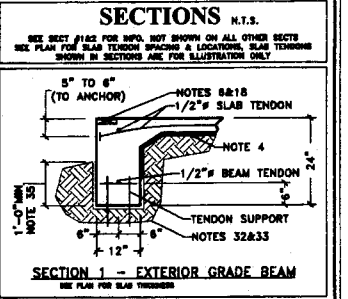
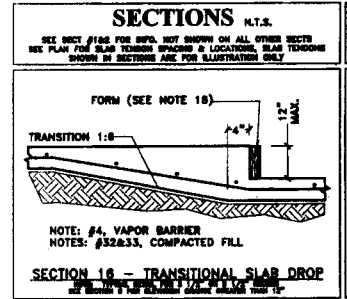
INSTALLATION OF THE POST-TENSIONED SYSTEM SHOWN ON THIS PLAN SHALL NOT BEGIN UNTIL WRITTEN APPROVAL BY THE POST-TENSION ENGINEER OF RECORD.

DEFLECT/SLOPE TENDONS AROUND BLOCKOUTS/OBSTRUCTIONS PER CONSTRUCTION & MAINTENANCE PROCEDURES MANUAL FOR POST-TENSIONED SLAB-ON-GROUND CONSTRUCTION SECTION 5.14, PGS. 18&19

SCALE: AS SHOWN

AMERICAN CONCRETE INSTITUTE
 ACI 308 Slabs on Grade

POST-TENSIONING INSTITUTE MEMBER



REV	DESCRIPTION	DATE	BY

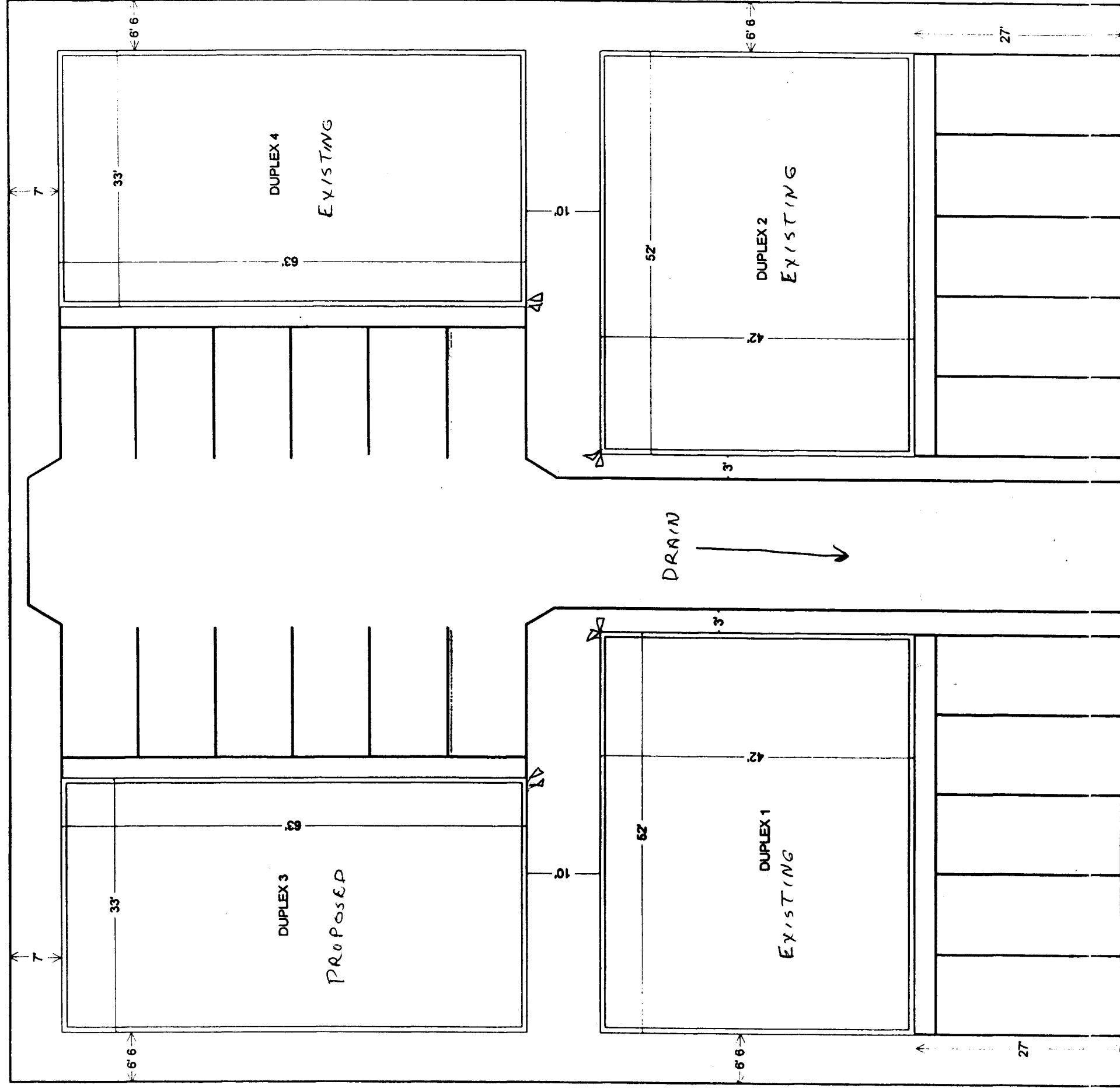
Galdry Brothers Homes
 724 C & D Bayou Garden Blvd.
 Terrebonne Parish
 Houma, Louisiana

COAST POST-TENSIONED SYSTEMS
 29072 Krenfel Road, Lacombe, LA 70445
 800-841-3890, 985-882-8001, Fax 985-882-1534

Date: 08/08/07
 Sq. Ft.: 2,079
 Sales Rep.: AH
 Drawn By: MS
 Project Number: 07-2051

Sheet Description: Tendon Plan
 Notes, Sections, Details
 Sheet Number: S-01

140'



FIRE HYDRANT

DRAIN

BAYOU GARDENS BLVD.

WATER MAIN

PLOT PLAN

TRASH

TRASH

ROAD

BAYOU GARDENS BLVD.

PLEASE ATTACH THE FOLLOWING INFORMATION:

- A. Site Plan Depicting the Following:
 - 1) All proposed structures and setbacks;
 - 2) Parking;
 - 3) Emergency vehicle access;
 - 4) Lighting;
 - 5) Fire hydrant locations;
 - 6) Loading areas (if applicable);
 - 7) All public and private easements and rights-of-ways;
 - 8) Driveways;
 - 9) Buffer protection (if applicable);
 - 10) Play areas (if applicable);
 - 11) Water main locations
- B. Legal Description of Subject Property
- C. Drainage Plans and Elevations
- D. List of Names and/or Property Owners and Addresses of adjacent property owners.

APPLICATION FEE SCHEDULE:

The City of Houma has adopted the following fee schedule:

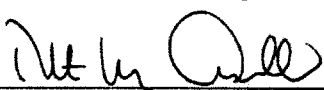
- 1. Planned Building Groups: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

Note: Acreage is based on total area, exclusive of streets.

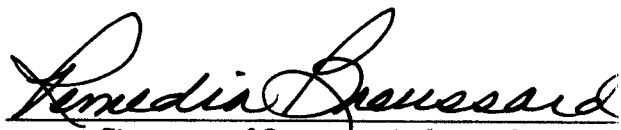
I (We) own 18.95 acres. A sum of \$87.83 dollars is enclosed and made a part of this application.



Signature of Applicant
3-18-09

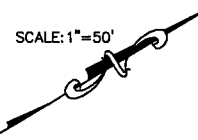
Date

The undersigned is owner(s) of the entire land area included in the proposal and signing indicates concurrence with the application.



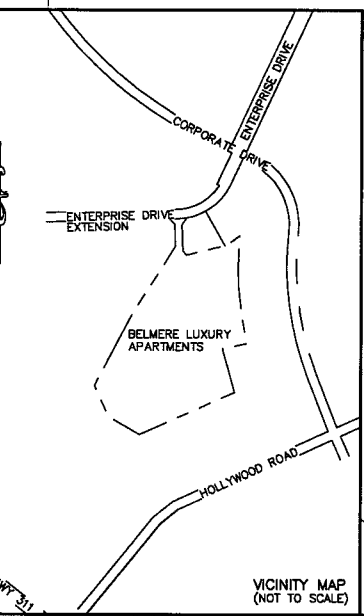
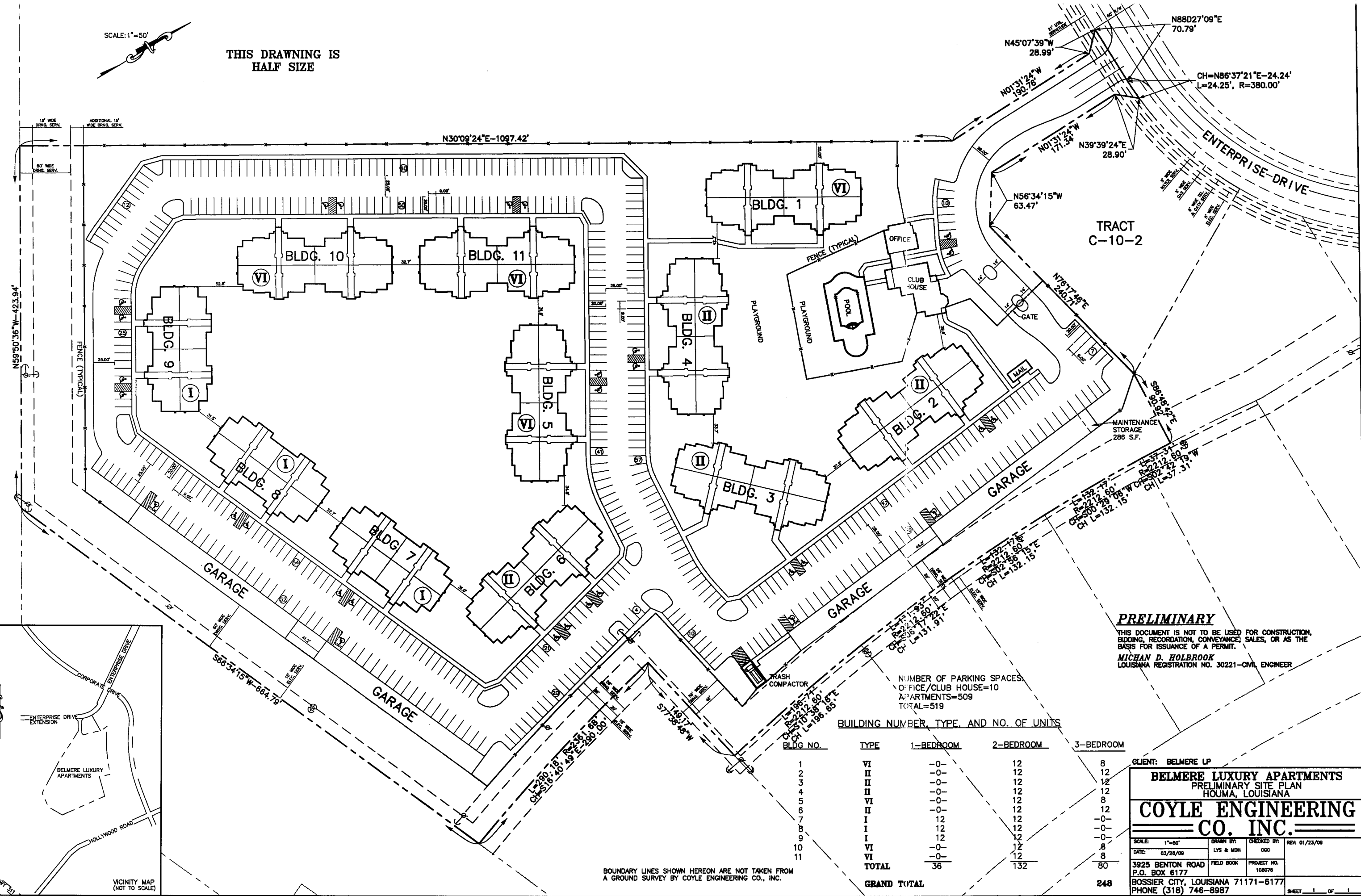
Signature of Owner or Authorized Agent
3/20/09

Date



THIS DRAWING IS
HALF SIZE

SCALE: 1"=50'



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File Name: T:\P108076\Plans\Prelim-Site.dwg

TRACT
C-10-2

ENTERPRISE DRIVE

PRELIMINARY

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION,
BIDDING, RECORDATION, CONVEYANCE, SALES, OR AS THE
BASIS FOR ISSUANCE OF A PERMIT.
MICHAEL D. HOLBROOK
LOUISIANA REGISTRATION NO. 30221-CIVIL ENGINEER

NUMBER OF PARKING SPACES:
OFFICE/CLUB HOUSE=10
APARTMENTS=509
TOTAL=519

BUILDING NUMBER, TYPE, AND NO. OF UNITS

BLDG. NO.	TYPE	1-BEDROOM	2-BEDROOM	3-BEDROOM
1	VI	0	12	8
2	II	0	12	12
3	II	0	12	12
4	II	0	12	12
5	VI	0	12	8
6	VI	0	12	12
7	I	12	12	0
8	I	12	12	0
9	I	12	12	0
10	VI	0	12	8
11	VI	0	12	8
TOTAL		36	132	80
GRAND TOTAL				248

BOUNDARY LINES SHOWN HEREON ARE NOT TAKEN FROM
A GROUND SURVEY BY COYLE ENGINEERING CO., INC.

CLIENT: BELMERE LP

BELMERE LUXURY APARTMENTS
PRELIMINARY SITE PLAN
HOUMA, LOUISIANA

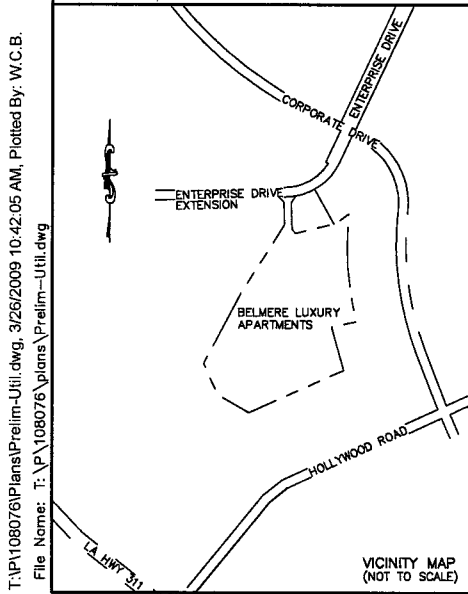
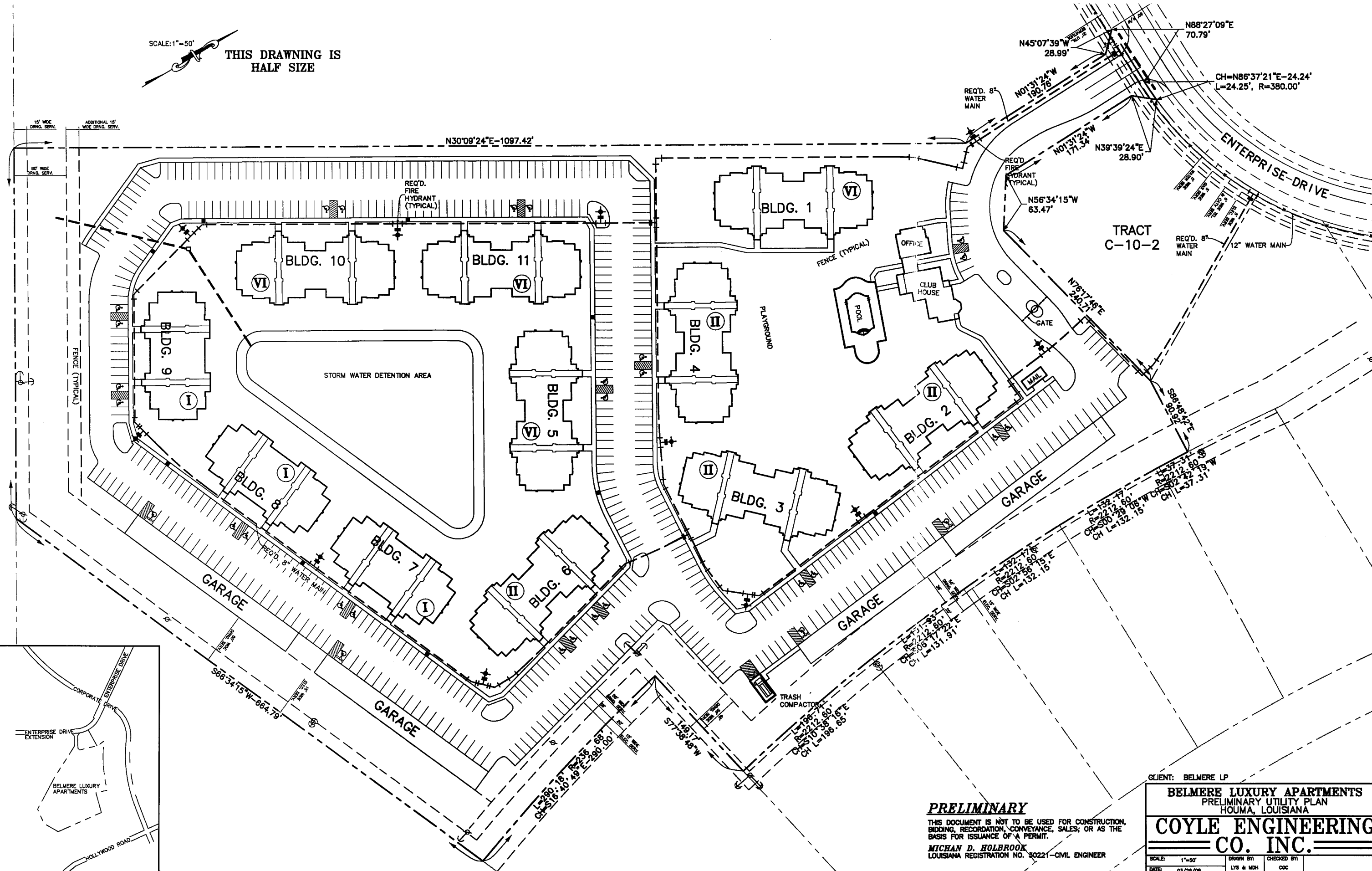
**COYLE ENGINEERING
CO. INC.**

SCALE: 1"=50'	DRAWN BY: LYS & MDH	CHECKED BY: CCC	REV: 01/23/09
DATE: 03/26/09	FIELD BOOK	PROJECT NO. 108076	
3925 BENTON ROAD P.O. BOX 6177 BOSSIER CITY, LOUISIANA 71171-6177 PHONE (318) 746-8987			

SHEET 1 OF 1

SCALE: 1"=50'

THIS DRAWING IS
HALF SIZE



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File Name: T:\P\108076\Plans\Prelim-Utl.dwg

BOUNDARY LINES AND TOPOGRAPHIC FEATURES SHOWN HEREON
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MICHAN D. HOLBROOK
LOUISIANA REGISTRATION NO. 30221-CIVIL ENGINEER

CLIENT: BELMERE LP

BELMERE LUXURY APARTMENTS
PRELIMINARY UTILITY PLAN
HOUMA, LOUISIANA

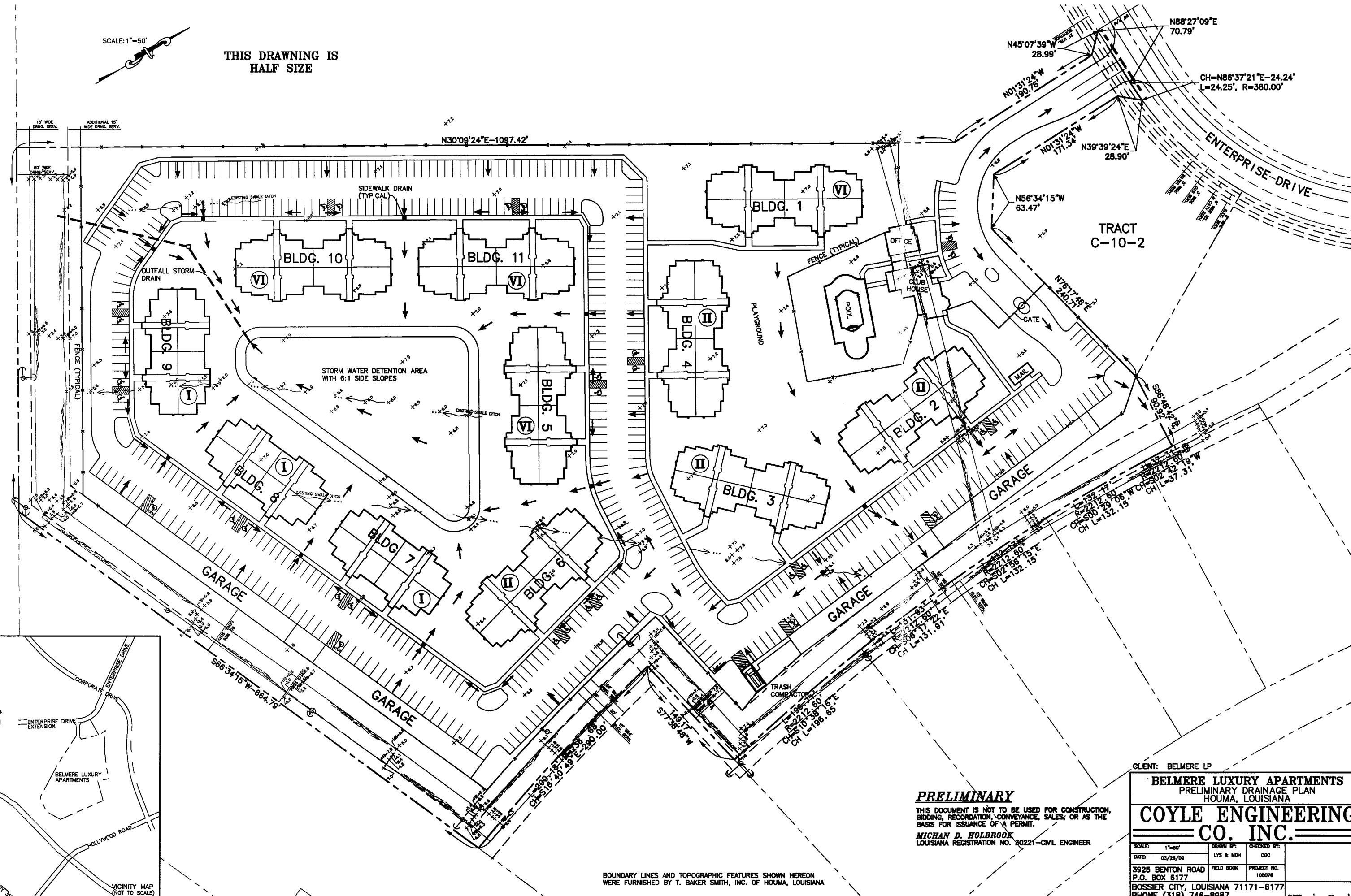
COYLE ENGINEERING
CO. INC.

SCALE: 1"=50'	DRAWN BY: LYS & MOH	CHECKED BY: COC
DATE: 03/26/09	FIELD BOOK	PROJECT NO. 108076
3925 BENTON ROAD P.O. BOX 6177 BOSSIER CITY, LOUISIANA 71171-6177 PHONE (318) 746-8987		

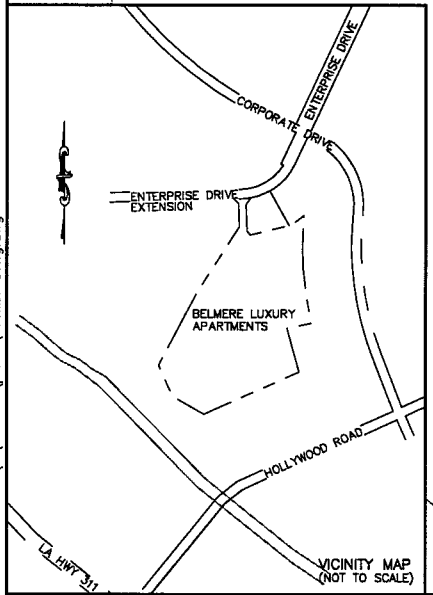
SHEET 1 OF 1

SCALE: 1"=50'

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HALF SIZE



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MICHAEL D. HOLBROOK
LOUISIANA REGISTRATION NO. 30221-CIVIL ENGINEER

CLIENT: BELMERE LP
BELMERE LUXURY APARTMENTS
PRELIMINARY DRAINAGE PLAN
HOUMA, LOUISIANA

**COYLE ENGINEERING
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SCALE: 1"=50'	DRAWN BY: LYS & MOH	CHECKED BY: COC
DATE: 03/26/09	FIELD BOOK	PROJECT NO. 108076
3925 BENTON ROAD P.O. BOX 6177 BOSSIER CITY, LOUISIANA 71171-6177 PHONE (318) 746-8987		
SHEET 1 OF 1		

The Architectural Studio
 A PROFESSIONAL ARCHITECTURAL CORPORATION

JAMES D. DODDS
 ARCHITECT A.I.A.

C. DALE HOTARD
 ARCHITECT A.I.A.

409 North Seventh Street
 BATON ROUGE, LA 70802
 (225) 215-1777
 dodds@architect7.com

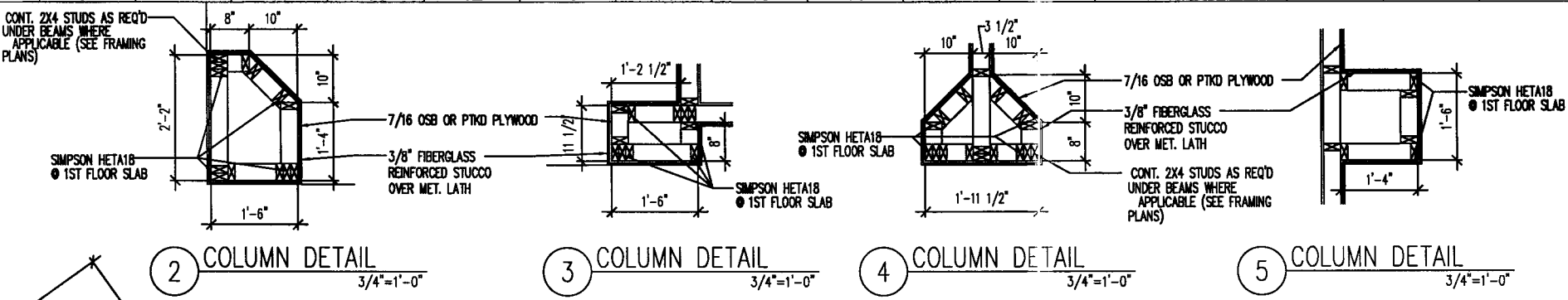
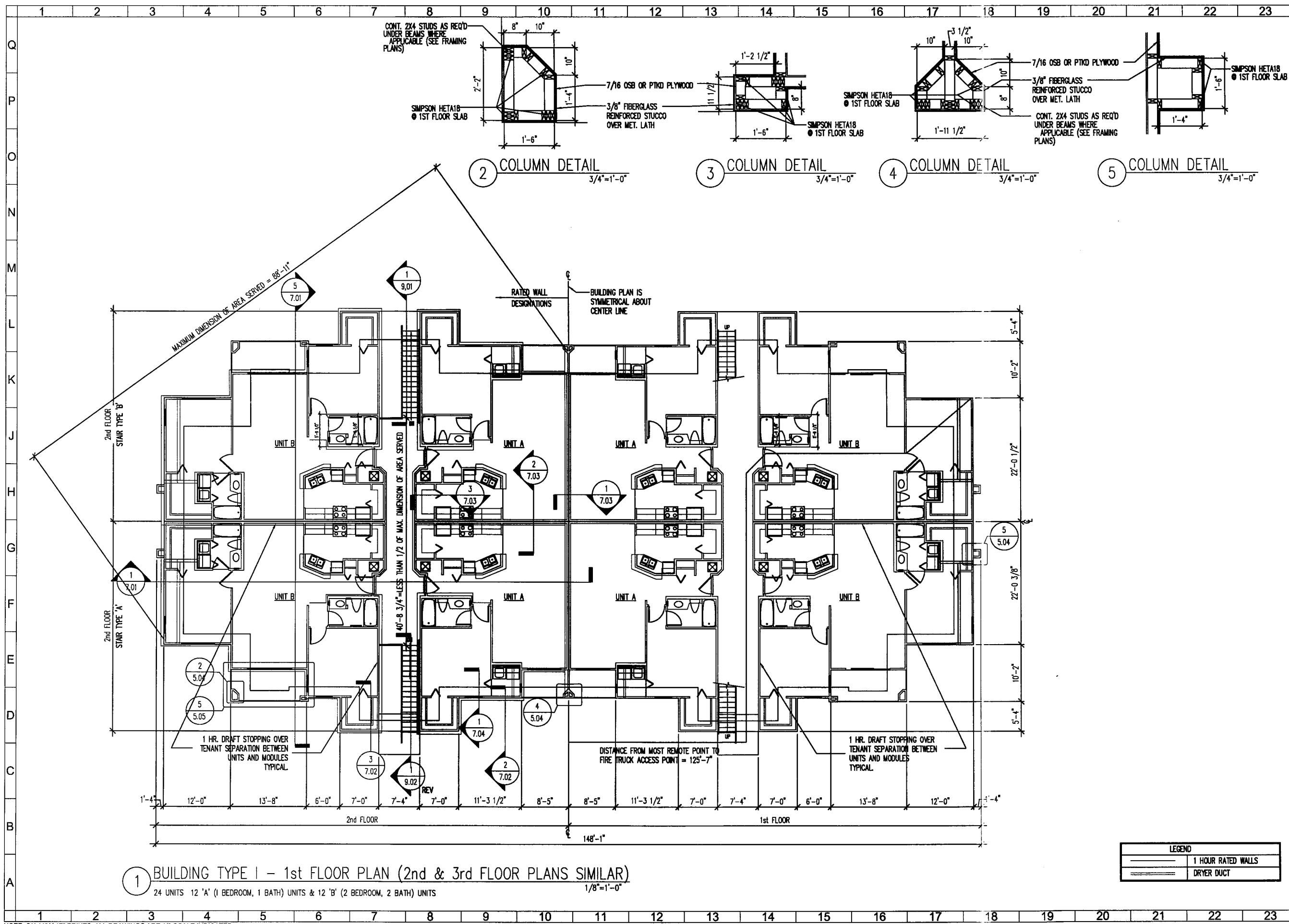
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PRELIMINARY DOCUMENTS

**Belemere
 Luxury
 Apartments**
 Houma, Louisiana

PRELIMINARY ISSUE: December 8, 2008	PROJ. NO.: 2511
ISSUE DATE:	FILE: A 5.04
REVISIONS:	DRAWN BY: S. Vasseur

SHEET TITLE TYPE I - 1ST FLOOR PLAN	SHEET A5.04
	10 OF 68



1 BUILDING TYPE I - 1st FLOOR PLAN (2nd & 3rd FLOOR PLANS SIMILAR)
 24 UNITS 12 'A' (1 BEDROOM, 1 BATH) UNITS & 12 'B' (2 BEDROOM, 2 BATH) UNITS
 1/8"=1'-0"

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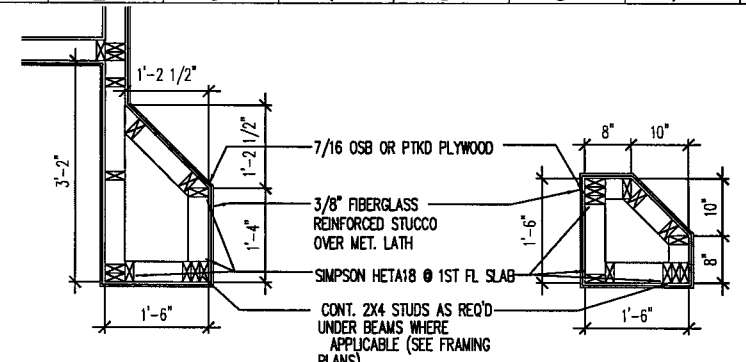
**Belemere
Luxury
Apartments**
Houma, Louisiana

PRELIMINARY ISSUE: December 8, 2008	PROJ. NO.: 2511
ISSUE DATE:	FILE: A 5.05
REVISIONS:	DRAWN BY: S. Vasseur

SEAL

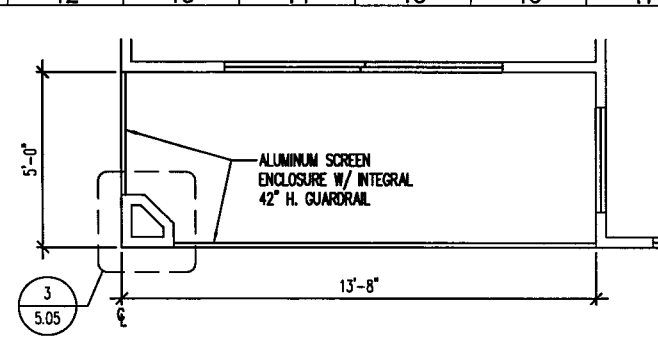
SHEET TITLE
TYPE II - 1ST & 2ND
FLOOR PLANS

SHEET
A5.05

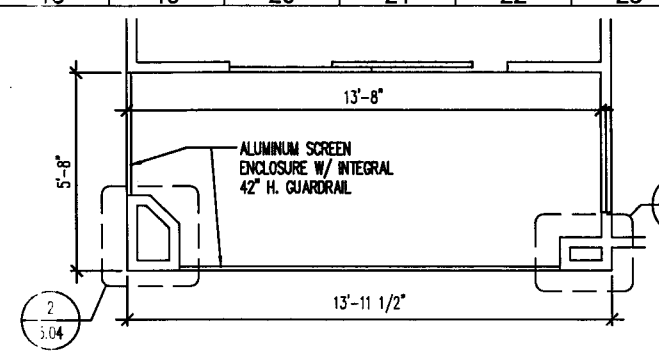


2 COLUMN DETAIL 3/4"=1'-0"

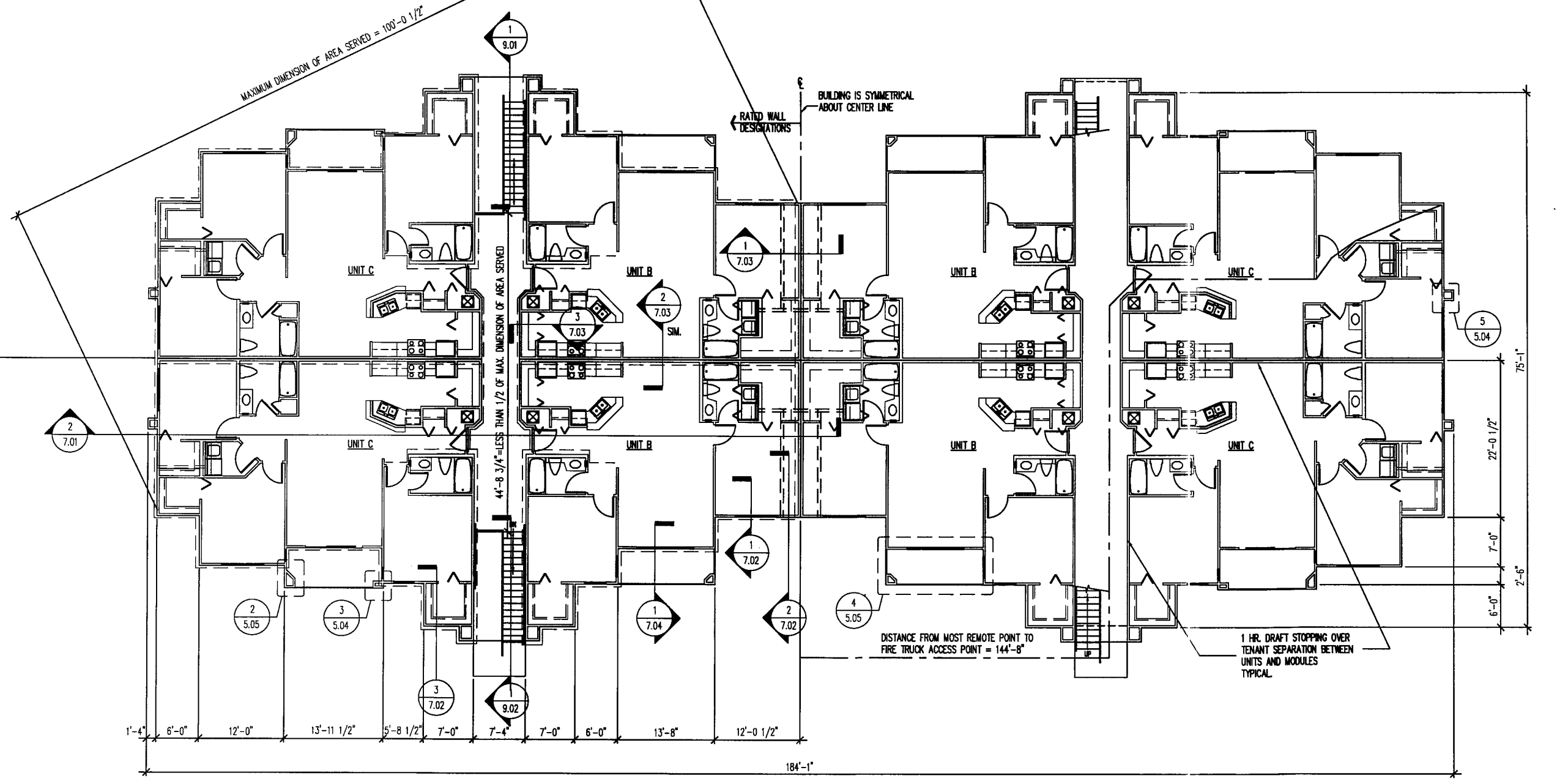
3 COLUMN DETAIL 3/4"=1'-0"



4 INTERIOR UNIT BALCONY 3/8"=1'-0"
UNIT 'B'



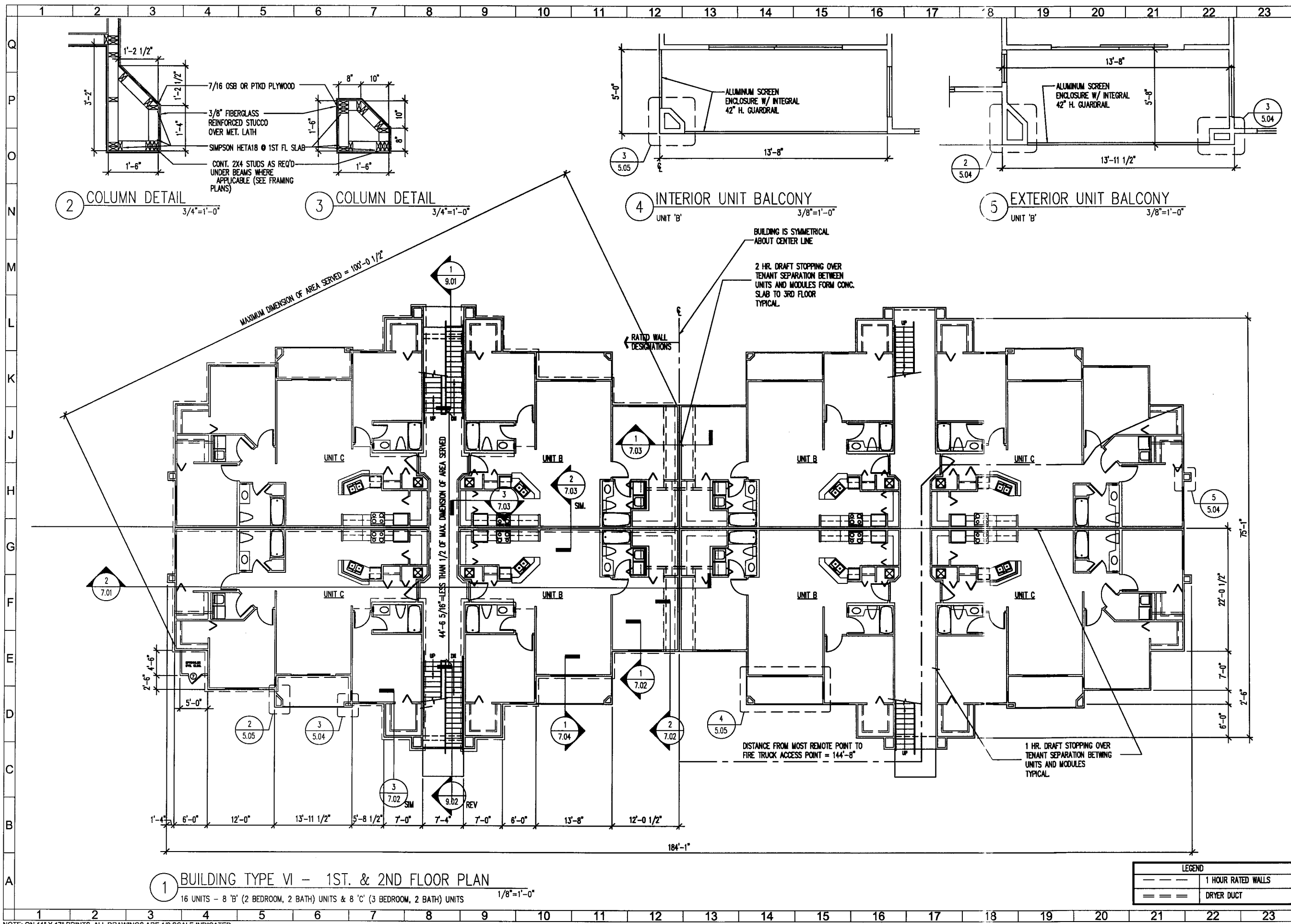
5 EXTERIOR UNIT BALCONY 3/8"=1'-0"
UNIT 'B'



1 BUILDING TYPE II - 1ST FLOOR PLAN (2nd & 3rd FLOOR PLANS SIMILAR)
24 UNITS - 12 'B' (2 BEDROOM, 2 BATH) UNITS & 12 'C' (3 BEDROOM, 2 BATH) UNITS
1/8"=1'-0"

LEGEND	
---	1 HOUR RATED WALLS
---	DRYER DUCT

NOTE: ON 11" X 17" PRINTS, ALL DRAWINGS ARE 1/2 SCALE INDICATED



2 COLUMN DETAIL
3/4"=1'-0"

3 COLUMN DETAIL
3/4"=1'-0"

4 INTERIOR UNIT BALCONY
UNIT 'B'
3/8"=1'-0"

5 EXTERIOR UNIT BALCONY
UNIT 'B'
3/8"=1'-0"

1 BUILDING TYPE VI - 1ST. & 2ND FLOOR PLAN
16 UNITS - 8 'B' (2 BEDROOM, 2 BATH) UNITS & 8 'C' (3 BEDROOM, 2 BATH) UNITS
1/8"=1'-0"

LEGEND	
---	1 HOUR RATED WALLS
==	DRYER DUCT

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PRELIMINARY
DOCUMENTS

Belemere
Luxury
Apartments
Houma, Louisiana

PRELIMINARY ISSUE: December 8, 2008	PROJ. NO.: 2511
ISSUE DATE:	FILE: A 5.07
REVISIONS:	DRAWN BY: S. Vavasseur

SEAL

SHEET TITLE
TYPE VI - 1ST & 2ND
FLOOR PLANS

SHEET
A5.07
19 OF 68
PLOT DATE: 1/19/2009 10:57 AM

NOTE: ON 11" X 17" PRINTS, ALL DRAWINGS ARE 1/2 SCALE INDICATED

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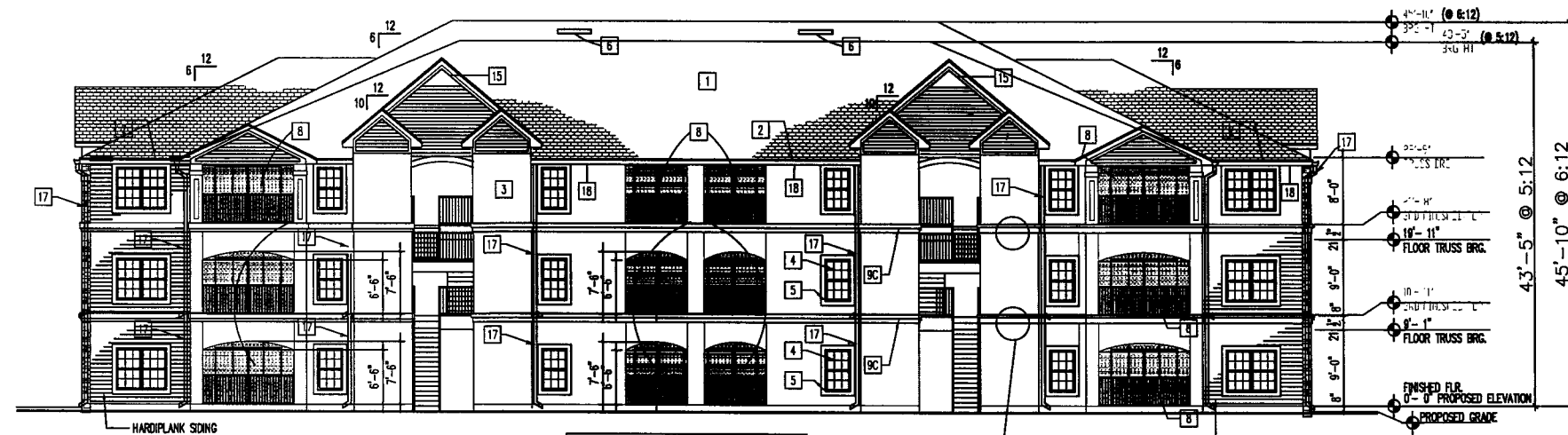
**Belemere
Luxury
Apartments**
Houma, Louisiana

PRELIMINARY ISSUE: December 8, 2008	PROJ. NO.: 2511
ISSUE DATE:	FILE: A 6.01
REVISIONS:	DRAWN BY: S. Vavasour

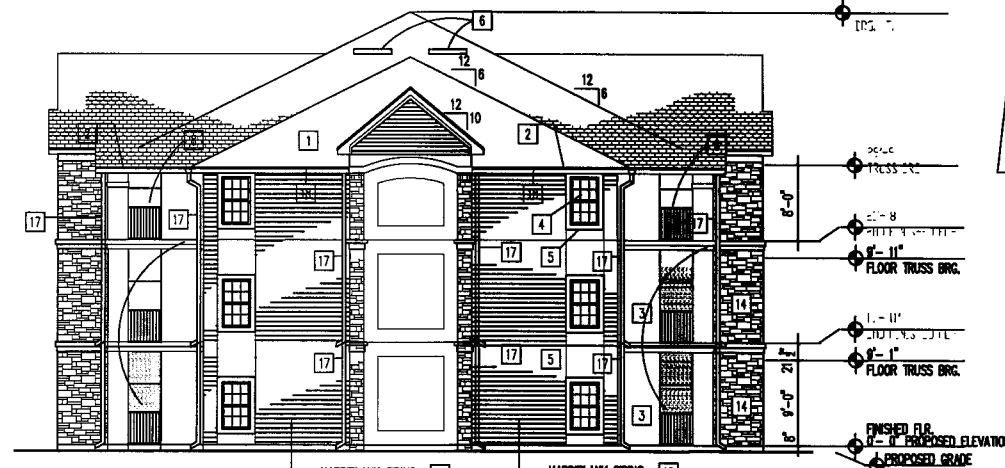
SEAL

SHEET TITLE
TYPE I - EXTERIOR
ELEVATIONS

SHEET
A6.01

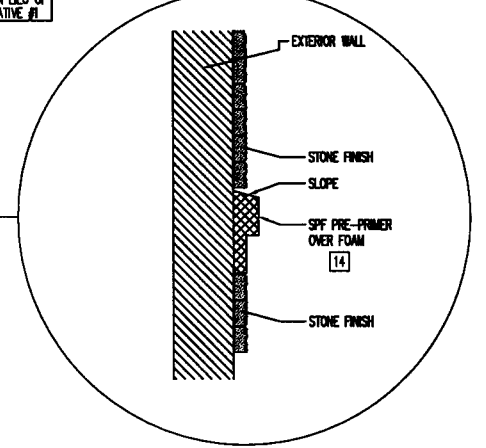


3 ELEVATION - BUILDING TYPE I



2 LEFT ELEVATION - BUILDING TYPE I
RIGHT ELEVATION SIM.

4 BAND DETAIL



KEY NOTES

- 1) ROOF ASSEMBLY: PRE-ENGINEERED ROOF TRUSSES WITH 7/16" APA RATED O.S.B. SHEATHING WITH H-CLIPS. ROOF WITH RANDOM TAB, SELF-SEALING, SHINGLE ROOFING w/ SELF-SEALING TABS ASPHALT/FIBERGLASS COMPOSITION SHINGLES. NOMINAL 12" WIDE X 36" LONG WITH 5" EXPOSURE TO WEATHER. STYLE AND COLOR AS SELECTED BY OWNER.
- 2) TYPICAL FASCIA TRIM. 2 X 8 FASCIA w/ METAL Drip EDGE.
- 3) EXTERIOR STUCCO FINISH. PROVIDE TEXTURED STUCCO WITH SAND FINISH. ACCENT BANDS AS SHOWN. PAINT STUCCO WALL SURFACES IN COLORS SELECTED BY ARCHITECT. BANDS ON COLUMNS ARE ON ALL SIDES.
- 4) WINDOWS. ALUMINUM SINGLE HUNG AND FIXED CLEAR GLAZED WINDOWS IN STYLE AS SHOWN; COLOR AS SELECTED BY ARCHITECT.
- 5) WALL TRIM. PROVIDE 3/8" BULDOUT STUCCO TRIM BANDS AROUND OPENINGS AND IN ACCENT AREAS SHOWN. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. BANDS AROUND WINDOW TO BE 6".
- 6) OFF RIDGE VENTS. PROVIDE 4'-0" LONG WATERPROOF, PAINTED GALVANIZED STEEL OR ALUMINUM GOOSENECK VENT WITH INSECT SCREEN. LOCATE ONE PER INDIVIDUAL UNIT ATTIC AREA. COLOR TO BE SELECTED BY OWNER.
- 7) CONTROL JOINTS. PROVIDE AT MINIMUM INTERVALS OF 10 FEET HORIZONTALLY AND 10 FEET VERTICALLY, OR AS SHOWN ON PLANS. WHERE VERTICAL JOINTS MEET HORIZONTAL JOINTS OR WINDOWS, OR DOORS, PROVIDE SEALANT IN VERTICAL JOINTS EXTENDING ABOVE THE INTERSECTION.
- 8) ALUMINUM SCREEN ENCLOSURE. PROVIDE INTERNAL SCREEN & 42" HIGH ALUMINUM GUARDRAIL. 1/2" ELECTRO-STATIC PAINTED (ESP) FINISH. COLOR TO BE WHITE. SEE 1/7.04 & 9/9.02.
- 9) BAND SCHEDULE. SUBMIT SCHEDULE OF BAND LOCATION, SIZE, TEXTURE, AND COLOR TO ARCHITECT FOR APPROVAL.
 - A) EXPANSION JOINTS THAT ARE USED TO MAKE UP BELLY BAND SHALL LINE UP WITH THE TOP AND BOTTOM FINISH SURFACES OF THE BALCONY.
 - B) BANDS. 3/4" STUCCO BUILD OUT BAND.
 - C) BAND BUILDOUT. SEE DETAIL 4 ON SHEET 7.02.
- 10) DOTTED LINES INDICATE BRICZEWAY CEILING.
- 11) ALL FILASTERS & BANDS SHALL BE SAND FINISH ON ALL SIDES TYPICAL.
- 12) DECORATIVE RAILING (SEE DETAIL 10/9.02)
- 13) TRUSS HEEL MEASURED @ TOP OF 2X4 TOP CORD OF TRUSS.
- 14) STONE VENEER FINISH. DECORATIVE STACKED CULTURED STONE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH STONE MASON. SEE ARCHITECTURAL SITE PLAN FOR STONE VENEER LOCATIONS.
- 15) GABLE VENT.
- 16) FIBER-CEMENT EXTERIOR SIDING WITH CEDAR SIDING SURFACE TEXTURE.
- 17) DOWN SPURTS 4" (SEE A 4.01)
- 18) GUTTER

ALL CONSTRUCTION DESIGNED TO COMPLY WITH WIND LOAD SECTION OF THE BUILDING CODE AS SPECIFIED ON PAGE 1.3 - CODE COMPLIANCE.

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PRELIMINARY
DOCUMENTS

Belemere
Luxury
Apartments

Houma, Louisiana

PRELIMINARY ISSUE:
December 8, 2008

ISSUE DATE:

REVISIONS:

PROJ. NO.: 2511

FILE: A 6.02

DRAWN BY:
S. Vavasseur

SEAL

SHEET TITLE
TYPE II - EXTERIOR
ELEVATIONS

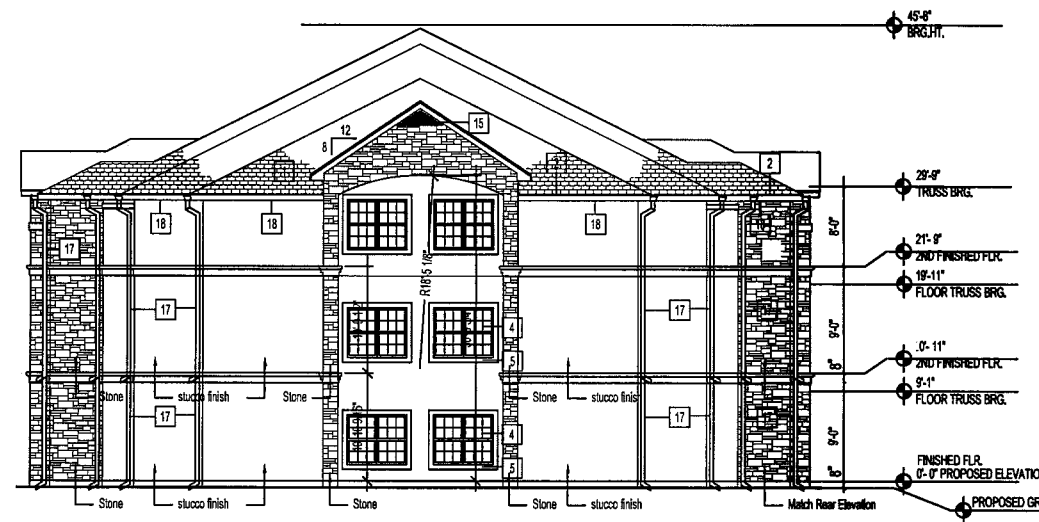
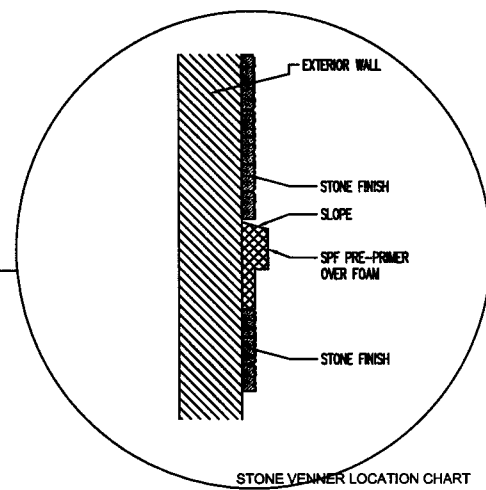
SHEET

A6.02

18 OF 68

KEY NOTES

- 1) ROOF ASSEMBLY: PRE-ENGINEERED ROOF TRUSSES WITH 7/8" APA RATED O.S.B. SHEATHING WITH H-CLIPS. ROOF WITH RANDOM TAB, SELF-SEALING, SHINGLE ROOFING w/ SELF SEALING TABS ASPHALT/FIBERGLASS COMPOSITION SHINGLES. NOMINAL 12" WIDE X 36" LONG WITH 5" EXPOSURE TO WEATHER. STYLE AND COLOR AS SELECTED BY OWNER.
- 2) TYPICAL FASCIA TRIM 2 X 8 FASCIA w/ METAL DRIP EDGE.
- 3) EXTERIOR STUCCO FINISH. PROVIDE TEXTURED STUCCO WITH SAND FINISH ACCENT BANDS AS SHOWN. PAINT STUCCO WALL SURFACES IN COLORS SELECTED BY ARCHITECT. BANDS ON COLUMNS ARE ON ALL SIDES.
- 4) WINDOWS, ALUMINUM SINGLE HUNG AND FIXED CLEAR GLAZED WINDOWS IN STYLE AS SHOWN; COLOR AS SELECTED BY ARCHITECT.
- 5) WALL TRIM. PROVIDE 3/4" BUILDOUT STUCCO TRIM BANDS AROUND OPENINGS AND IN ACCENT AREAS SHOWN. PROVIDE ALL REQUIRED FLASHINGS FOR SPECIFIC CONDITIONS. BANDS AROUND WINDOW TO BE 6".
- 6) OFF RIDGE VENTS. PROVIDE 4'-0" LONG WATERPROOF PAINTED GALVANIZED STEEL OR ALUMINUM GOOSENECK VENT WITH INSECT SCREEN. LOCATE ONE PER INDIVIDUAL UNIT ATTIC AREA. COLOR TO BE SELECTED BY OWNER.
- 7) CONTROL JOINTS. PROVIDE AT MINIMUM INTERVALS OF 10 FEET HORIZONTALLY AND 10 FEET VERTICALLY, OR AS SHOWN ON PLANS. WHERE VERTICAL JOINTS MEET HORIZONTAL JOINTS OR WINDOWS, OR DOORS, PROVIDE SEALANT IN VERTICAL JOINTS EXTENDING ABOVE THE INTERSECTION.
- 8) ALUMINUM SCREEN ENCLOSURE. PROVIDE INTEGRAL SCREEN & 42" HIGH ALUMINUM GUARDRAIL w/ ELECTRO-STATIC PAINTED (ESP) FINISH. COLOR TO BE WHITE. SEE 17.04 & 910.02.
- 9) BAND SCHEDULE. SUBMIT SCHEDULE OF BAND LOCATION, SIZE, TEXTURE, AND COLOR TO ARCHITECT FOR APPROVAL.
- A) EXPANSION JOINTS THAT ARE USED TO MAKE UP BELLY BAND SHALL LINE UP WITH THE TOP AND BOTTOM FINISH SURFACES OF THE BALCONY.
- B) BANDS. 3/4" STUCCO BUILD OUT BAND.
- C) BAND BUILDOUT. SEE DETAIL 4 ON SHEET 7.02
- 10) DOTTED LINES INDICATE BREEZEWAY CEILINGS.
- 11) ALL PLASTERS & BANDS SHALL BE SAND FINISH ON ALL SIDES TYPICAL.
- 12) DECORATIVE RAILING (SEE DETAIL 1010.02)
- 13) TRUSS HEEL MEASURED @ TOP OF 2X4 TOP CHORD OF TRUSS.
- 14) STONE VENEER FINISH. DECORATIVE STACKED CULTURED STONE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH STONE MASON. SEE ARCHITECTURAL SITE PLAN FOR STONE VENEER LOCATIONS.
- 15) GABLE VENT.
- 16) FIBER-CEMENT EXTERIOR SIDING WITH CEDAR SIDING SURFACE TEXTURE.
- 17) DOWN SPOUTS 4" (SEE A.4.01)
- 18) GUTTER

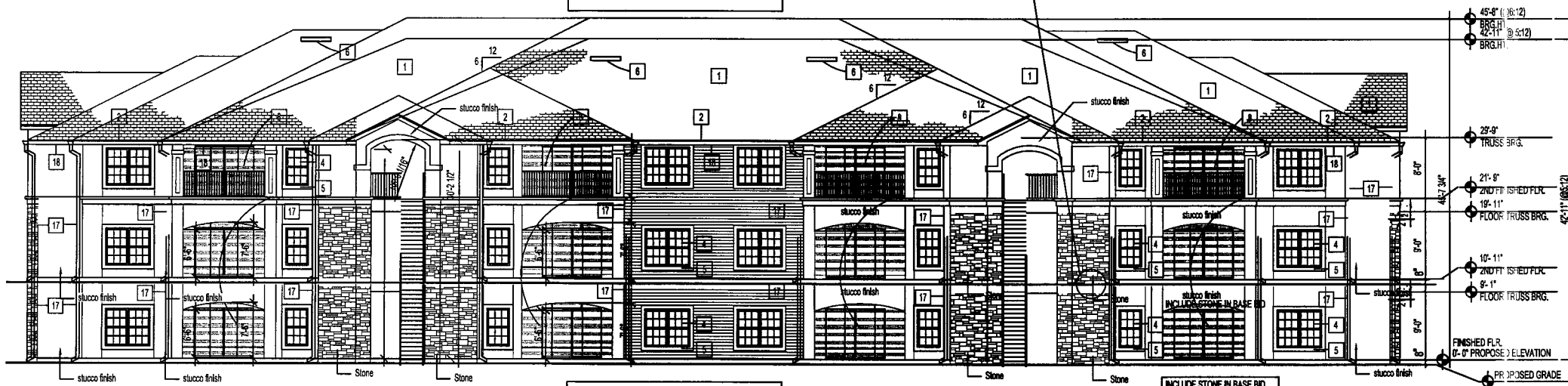


2 SIDE VIEW ELEVATION - BUILDING TYPE II-3 STORIES

1/8"=1'-0"

PROVIDE STONE VENEER. SEE CHART ABOVE PROVIDE TYPICAL STUCCO FINISH IN LIEU OF STONE ELSEWHERE UNLESS NOTED OTHERWISE.

INCLUDE STONE IN BASE BID PROVIDE STUCCO IN LIEU OF STONE AS ALTERNATIVE #1



1 FRONT ELEVATION - BUILDING TYPE II-3 STORIES

1/8"=1'-0"

PROVIDE STONE VENEER. SEE CHART ABOVE PROVIDE TYPICAL STUCCO FINISH IN LIEU OF STONE ELSEWHERE UNLESS NOTED OTHERWISE.

INCLUDE STONE IN BASE BID PROVIDE STUCCO IN LIEU OF STONE AS ALTERNATIVE #1

ALL CD STRUCTURE DESIGNED TO COMPLY WITH WIND LOAD SECTION OF THE BUILDING CODE AS SPECIFIED ON PAGE 12-CODE COMPLIANCE.

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**PRELIMINARY
DOCUMENTS**

**Belemere
Luxury
Apartments**

Houma, Louisiana

PRELIMINARY ISSUE: PROJ. NO.: 2511

December 8, 2008

ISSUE DATE: FILE: A 6.04A

REVISIONS: DRAWN BY:

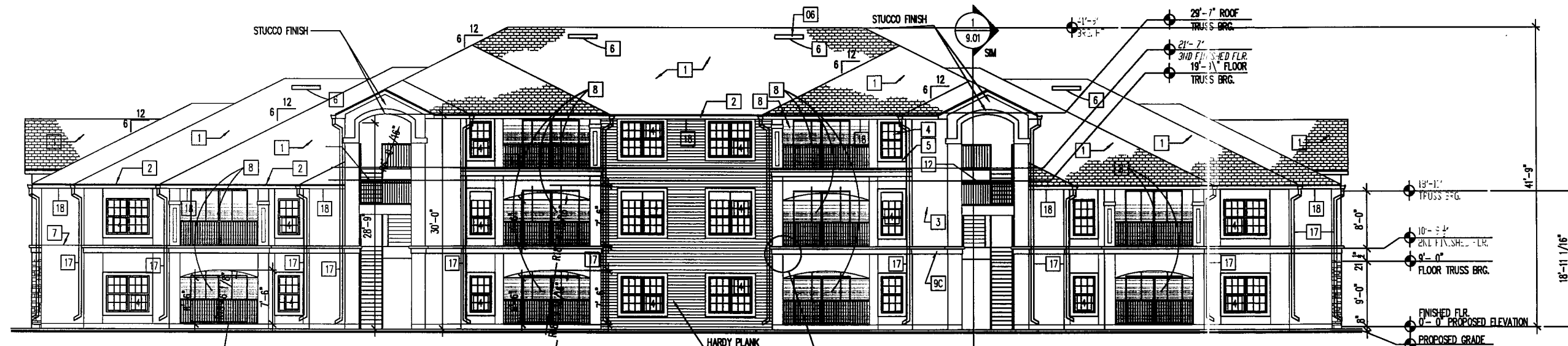
S. Vavasseur

SEAL

SHEET TITLE SHEET
TYPE VI - EXTERIOR
ELEVATIONS

A6.04A

25 OF 68
PLOT DATE 11/20/08 10:52 AM



3 REAR ELEVATION - BUILDING TYPE VI

1/8"=1'-0"

PROVIDE STONE VENEER, SEE CHART ABOVE
PROVIDE TYPICAL STUCCO FINISH IN LIEU
OF STONE ELSEWHERE UNLESS
NOTED OTHERWISE.

INCLUDE STONE IN BASE BID
PROVIDE STUCCO IN LIEU OF
STONE AS ALTERNATIVE #1

NOTE:

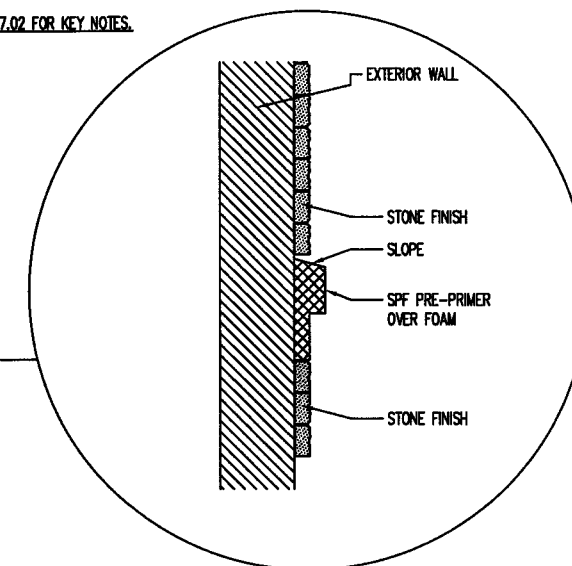
REFER TO SHEET A7.02 FOR KEY NOTES.

STONE VENEER LOCATION CHART

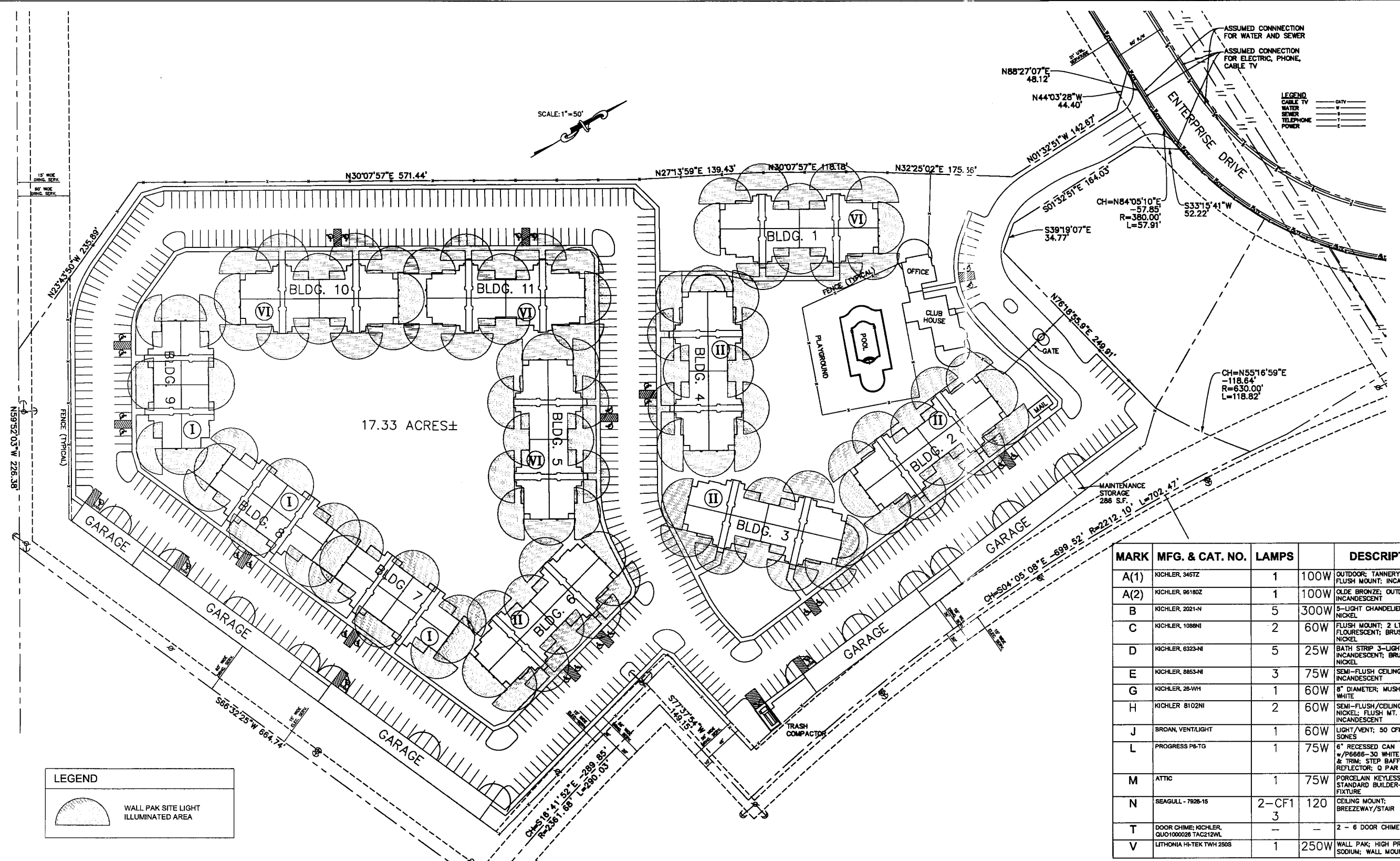
C:\SET\mechanical\images\landings\img

ALL CONSTRUCTION DESIGNED TO COMPLY WITH
WIND LOAD SECTION OF THE BUILDING CODE AS
SPECIFIED ON PAGE 1.2 - CODE COMPLIANCE.


FOR KEY NOTES REFER TO SHEET A 6.03



4 BAND DETAIL
3"=1'-0"



LEGEND
 CABLE TV
 WATER
 SEWER
 TELEPHONE
 POWER

LEGEND
 WALL PAK SITE LIGHT ILLUMINATED AREA

MARK	MFG. & CAT. NO.	LAMPS		DESCRIPTION
A(1)	KICHLER 345TZ	1	100W	OUTDOOR; TANNERY BRONZE; FLUSH MOUNT; INCANDESCENT
A(2)	KICHLER 96180Z	1	100W	OLDE BRONZE; OUTDOOR WALL; INCANDESCENT
B	KICHLER 2021-N	5	300W	5-LIGHT CHANDELIER; BRUSHED NICKEL
C	KICHLER 1088NI	2	60W	FLUSH MOUNT; 2 LT.; FLOURESCENT; BRUSHED NICKEL
D	KICHLER 6323-NI	5	25W	BATH STRIP 3-LIGHT INCANDESCENT; BRUSHED NICKEL
E	KICHLER 8853-NI	3	75W	SEMI-FLUSH CEILING INCANDESCENT
G	KICHLER 26-VH	1	60W	8" DIAMETER; MUSHROOM; WHITE
H	KICHLER 8102NI	2	60W	SEMI-FLUSH/CEILING; BRUSHED NICKEL; FLUSH MT. 2LT. INCANDESCENT
J	BROAN VENTLIGHT	1	60W	LIGHT/VENT; 50 CFM; 2.5 SONES
L	PROGRESS P8-TG	1	75W	6" RECESSED CAN w/P8666-30 WHITE HOUSING & TRIM; STEP BAFFLE REFLECTOR; Q PAR 30 LAMP
M	ATTIC	1	75W	PORCELAIN KEYLESS; STANDARD BUILDER-GRADE FIXTURE
N	SEAGULL - 7928-15	2-CF1 3	120	CEILING MOUNT; BREEZEWAY/STAIR
T	DOOR CHIME; KICHLER QUD1000028 TAC212WL	-	-	2 - 6 DOOR CHIME KIT
V	LITHONIA HI-TEK TWH 2508	1	250W	WALL PAK; HIGH PRESSURE SODIUM; WALL MOUNTED (120V)

SEE INDIVIDUAL BUILDING PLANS FOR AREA LTG.
 ELECTRICAL CONTRACTOR TO COORDINATE WITH LOCAL UTILITY TO VERIFY POINT OF ENTRY FOR UTILITIES TO SITE.

PRELIMINARY

CLIENT: BELMERE LP
BELMERE LUXURY APARTMENTS
 HOUMA, LOUISIANA
COYLE ENGINEERING
CO. INC.

SCALE: 1"=50'	DRAWN BY: LYS & MOH	CHECKED BY: MDH
DATE: 12/31/08	FIELD BOOK:	PROJECT NO. 108076
3925 BENTON ROAD P.O. BOX 6177 BOSSIER CITY, LOUISIANA 71171-6177 PHONE (318) 746-8987		

SHIRT 1 OF 1

BOUNDARY LINES SHOWN HEREON ARE NOT TAKEN FROM A GROUND SURVEY BY COYLE ENGINEERING CO., INC.

File Name: T:\V\08076 SitePlan-hud.dwg

**PRELIMINARY
DOCUMENTS**

**Belemere
Luxury
Apartments**

Houma, Louisiana

PRELIMINARY ISSUE:
December 8, 2008

ISSUE DATE:

PROJ. NO.: 2511

FILE: E-16.5

REVISIONS:

DRAWN BY:
S. Vavasseur

SEAL

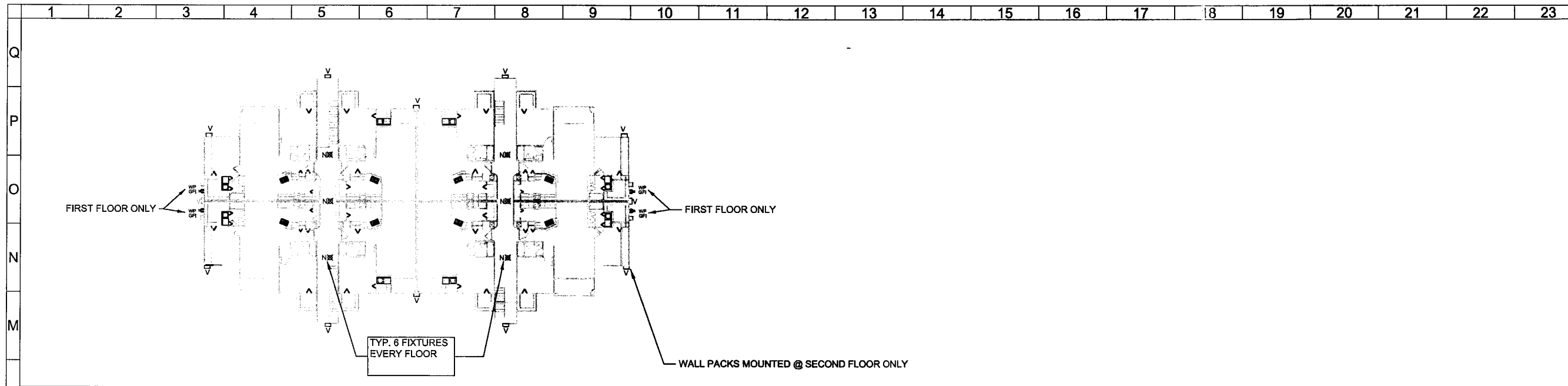
SHEET TITLE
BUILDING ELECTRICAL
PLANS

SHEET

E16.5

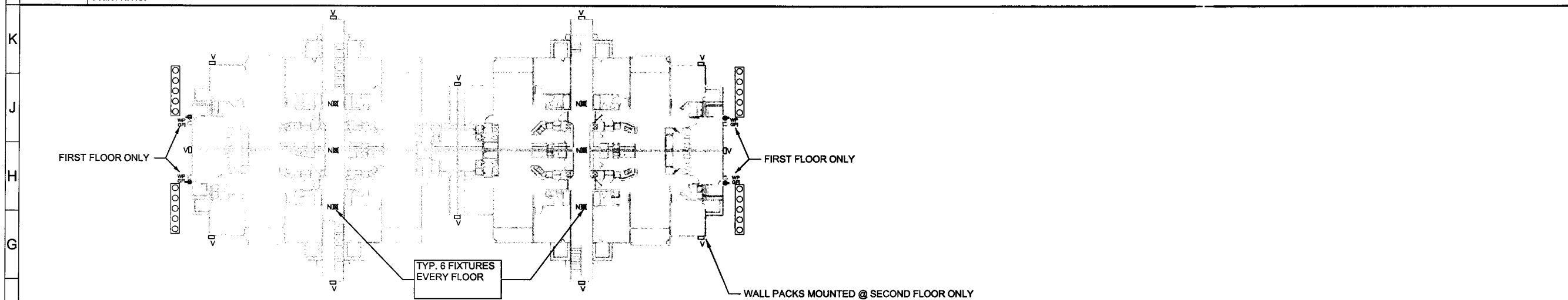
OF 65

PLOT DATE: 12/08/08 11:34 PM



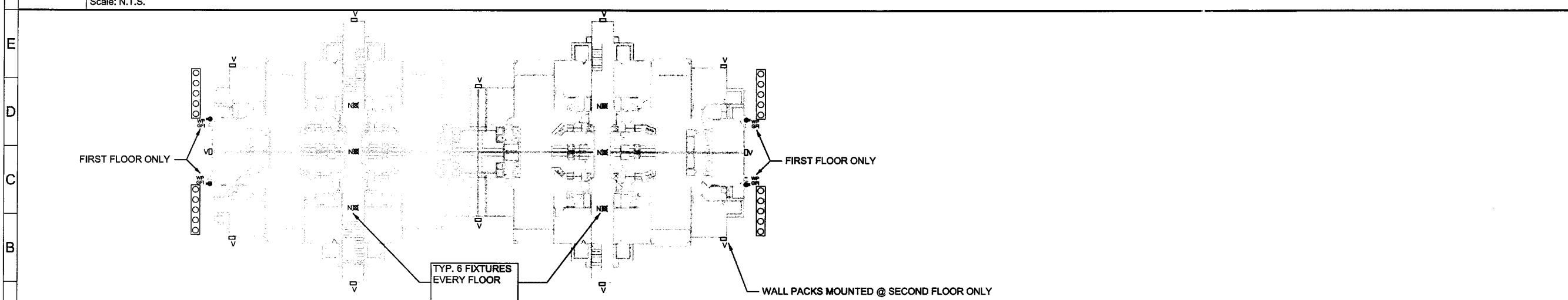
L1 Building Type I - Electrical Plan

Scale: N.T.S.



F1 Building Type II - Electrical Plan

Scale: N.T.S.



A1 Building Type VI - Electrical Plan

Scale: N.T.S.

CITY OF HOUMA ZONING COMMISSION
P.O. BOX 6097
HOUMA, LA 70361
(985)873-6563

ZLUCM/11
Dist. 5

APPLICATION FOR
PLANNED BUILDING GROUP APPROVAL

Start Corporation
Applicant's Name

420 Magnolia St Houma LA 70360
Address City State Zip Code

3-16-09 / (985) 879-3966
Date Telephone Number(s)

Start Corporation 100%
Interest in Ownership (owner, etc.)

PROJECT INFORMATION:

1. Name of Project: New Start for Vets
2. Location: 137 New Orleans ; Houma, LA 70360
3. Zoning District: C2
4. Total Land Area: .452 acres
5. Total Number of Units: 12
6. Gross Floor Area: 4127
7. Total Parking Spaces Provided: 6
Total Parking Spaces Required: 6
8. Approximate Cost of Work Involved: \$724,000
9. Has any previous application been made: NO YES

If Yes, please describe: _____

PLEASE ATTACH THE FOLLOWING INFORMATION:

- A. Site Plan Depicting the Following:
- 1) All proposed structures and setbacks;
 - 2) Parking;
 - 3) Emergency vehicle access;
 - 4) Lighting;
 - 5) Fire hydrant locations;
 - 6) Loading areas (if applicable);
 - 7) All public and private easements and rights-of-ways;
 - 8) Driveways;
 - 9) Buffer protection (if applicable);
 - 10) Play areas (if applicable);
 - 11) Water main locations
- B. Legal Description of Subject Property
- C. Drainage Plans and Elevations
- D. List of Names and/or Property Owners and Addresses of adjacent property owners.

APPLICATION FEE SCHEDULE:

The City of Houma has adopted the following fee schedule:

- 1. Planned Building Groups: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

Note: Acreage is based on total area, exclusive of streets.

I (We) own A52 acres. A sum of 25.00 dollars is enclosed and made a part of this application.

Casper Andrus
Signature of Applicant
3-20-09
Date

The undersigned is owner(s) of the entire land area included in the proposal and signing indicates concurrence with the application.

Casper Andrus
Signature of Owner or Authorized Agent
3-20-09
Date

EXHIBIT "A"

A certain tract of land in Section 7, T17S-R17E, Terrebonne Parish, Louisiana being depicted on a plat of survey entitled "Survey of Lots 3, 4 and 5, Dixieland Subdivision, Houma, La." dated July 31, 1979 by Keneth L. Rembert, Surveyor.

Commencing at the northwest corner of East Park Avenue and New Orleans Boulevard;

Thence, N 9 E along the west right of way of New Orleans Boulevard for a distance of 300 feet to the point of beginning;

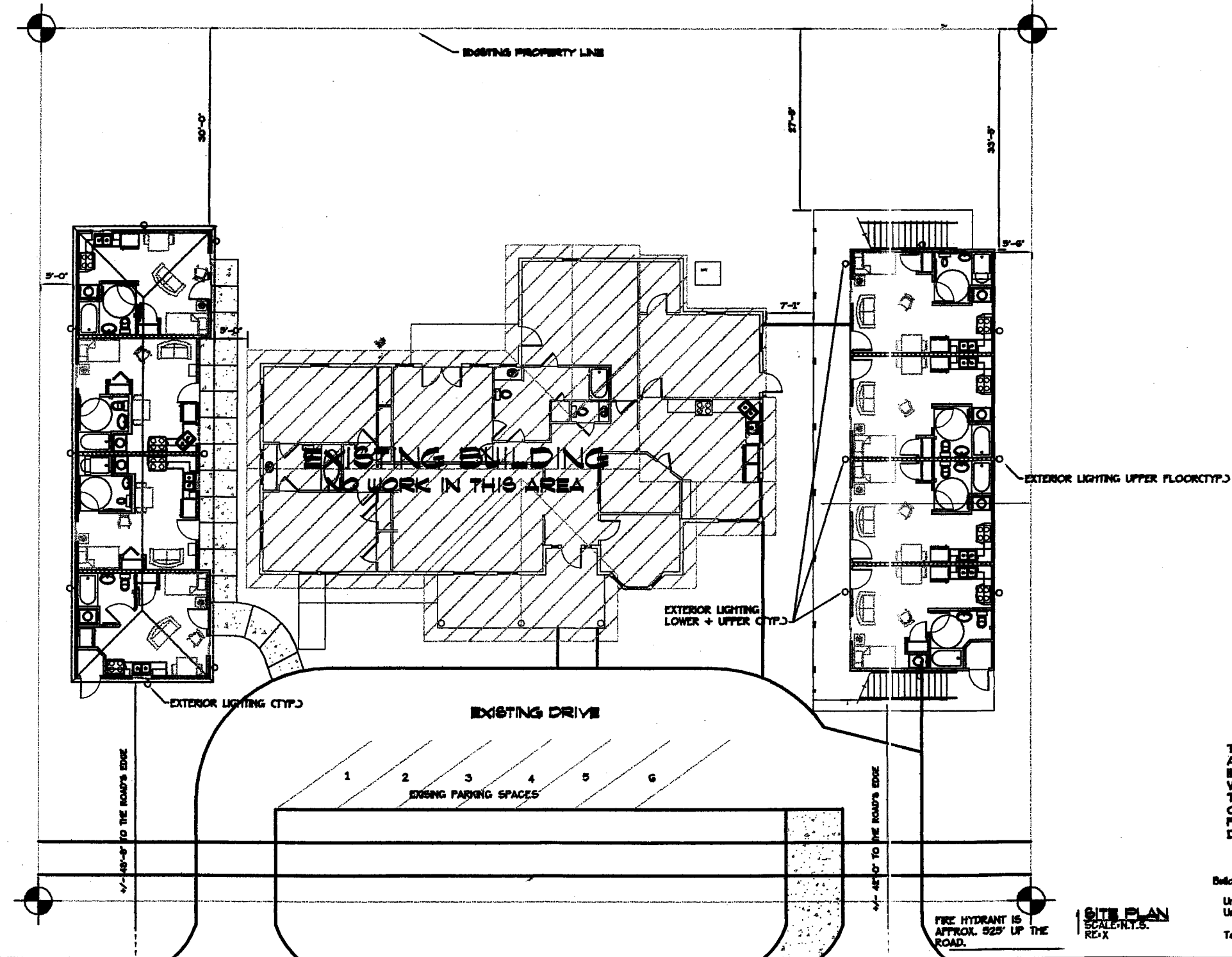
Thence, N 81 W along the south line of Lot 3 of said subdivision 131.95 feet to a point;

Thence, S 81° E along the north line of Lot 5 of said subdivision 130.74 feet to a point on the west right of way of New Orleans Boulevard;

Thence, S 9° W along said right of way for a distance of 150 feet to the point of beginning, said tract of land containing 0.452 acre, more or less, all as more fully shown on a map by T. Baker Smith & Son, Inc., dated February 11, 1987 and titled "Plot Plan for Gerald Ellender a Portion of Lots 3, 4 & 5 of Dixieland Subdivision located in Section 7, T17S-R17E, Terrebonne Parish, Louisiana;

NEW STUDIO RESIDENTIAL UNITS FOR START CORPORATION HOUMA, LOUISIANA

SITE



THIS DRAWING IS NOT
A SURVEY.
INFORMATION
WAS PROVIDED BY
THE
OWNER FOR
PRELIMINARY
DESIGN PURPOSES.

Building Area
Unit A = 1335 sq.ft.
Unit B 1st fl. = 1396 sq.ft.
2nd fl. = 1396 sq.ft.
Total = 4127 sq.ft.

SITE PLAN
SCALE: N.T.S.
RE: X

REVISIONS	BY

angeloz
ARCHITECTS
1001 W. 19th Street, Houma, Louisiana 70301

NEW STUDIO RESIDENTIAL UNITS
FOR
START CORPORATION
HOUMA, LOUISIANA



Date: 2/17/08
Scale: 1/8" = 1'-0"
Sheet: 07-17
Sheet: **T-1.1**
Sheet

**Houma-Terrebonne Regional Planning Commission
Zoning & Land Use Commission**

Z111/10
Dist. 2

P.O. Box 1446

Houma, Louisiana 70361-1446

Bus (985) 873-6793 - Fax (985) 580-8141

**Zoning & Land Use Commission
Application**

Name: Belmere, L.P.

Address: P.O. Box 6155, Bossier City, Louisiana 71171

Phone: 318-742-6677

Application For:	<input type="checkbox"/>	Planning Approval \$10.00/application	<input type="checkbox"/>	Home Occupation \$10.00/application
	<input checked="" type="checkbox"/>	Parking Plan \$50.00/plan	<input type="checkbox"/>	Special Plan \$10.00/application

The premises affected are situated at Enterprise Drive Extension
in a C2 Zoning District. The legal description of the property involved in this
application is: See attached survey (18.95 Acres Section 5 & 101, Township 17 South,
Range 17 East

Has any previous application been filed in connection with these premises? Yes No

Applicant's interest in the premises affected: 100%

Approximate cost of work involved: \$12,450,000

Explanation of property use: 248 Unit Apartment Complex

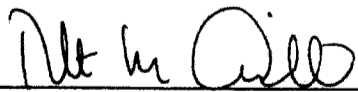
Plot Plan attached: Yes No Drainage Plan attached: Yes No

Ground Floor Plan and Elevations attached: Yes No

Address of adjacent property owners:

1. See Attachment 2. _____

3. _____

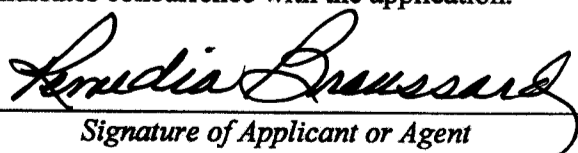


Signature of Applicant or Agent

318-742-6677

Phone Number

The undersigned is the owner of the entire land area included in the proposal and, in signing, indicates concurrence with the application.



Signature of Applicant or Agent

3/20/09

Date

Houma-Terrebonne Regional Planning Commission
Zoning & Land Use Commission

ZLU09/12

Dist. 3

P.O. Box 1446

Houma, Louisiana 70361-1446

Bus (985) 873-6793 - Fax (985) 580-8141

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies, and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator.

PLEASE COMPLETE THE FOLLOWING – NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: 3-30-09

MICHELLE PARSONS PROPERTIES, L.L.C.
Applicant's Name

305 LYNWOOD DRIVE, HOUMA, LA 70360
Address City State Zip

985-226-3337 985-876-3456
Telephone Number (Home) (Work)

100% Ownership
Interest in Ownership (Owner, etc.)

3.860 ACRES OF VILLAGE SQUARE SUBDIVISION CONSISTING OF 10 LOTS LOCATED IN SECTION 104, T17S-R17E BOUNDED NORTHEAST BY BLOCK 1 OF ALMA HEIGHTS SUBDIVISION, ADDENDUM NO. 1, SOUTHEAST BY HOLIDAY PARK SUBDIVISION, WEST BY ALMA HEIGHTS SUBDIVISION. VILLAGE SQUARE SUBDIVISION IS ACCESSED BY VIEUX CARRE WHICH IS LOCATED OFF OF ALMA STREET.

Address of Property to be Rezoned & Description (Lot, Block, Subdivision)
VILLAGE SQUARE SUBDIVISION, LOTS 1 THRU 10 LOCATED ON VIEUX CARRE, HOUMA, LOUISIANA

Zoning Classification Request:

From: R2M To: R3M

Previous Zoning History: X No Yes

If Yes, Date of Last Application: _____

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

_____ **ERROR.** There is a manifest error in the ordinance.

X **CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

_____ **INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

_____ **SUBDIVISION OF LAND.** The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. **Legal Description:** The legal description of only the property to be rezoned.

4. **Market Information:** Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. Development Schedule: Indicate a time schedule for the beginning and completion of development planned by the applicant:

NON-APPLICABLE

6. Effect of the Amendment: On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

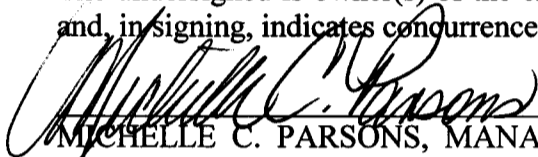
SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

MICHELLE PARSONS PROPERTIES, L.L.C., 305 LYNWOOD DR., HOUMA, LA 70360

MICHELLE C. PARSONS, MANAGER

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

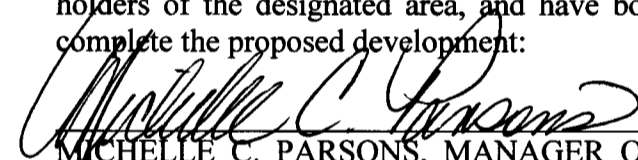


MICHELLE C. PARSONS, MANAGER OF MICHELLE PARSONS PROPERTIES, L.L.C.

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

N/A

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:



MICHELLE C. PARSONS, MANAGER OF MICHELLE PARSONS PROPERTIES, L.L.C.

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

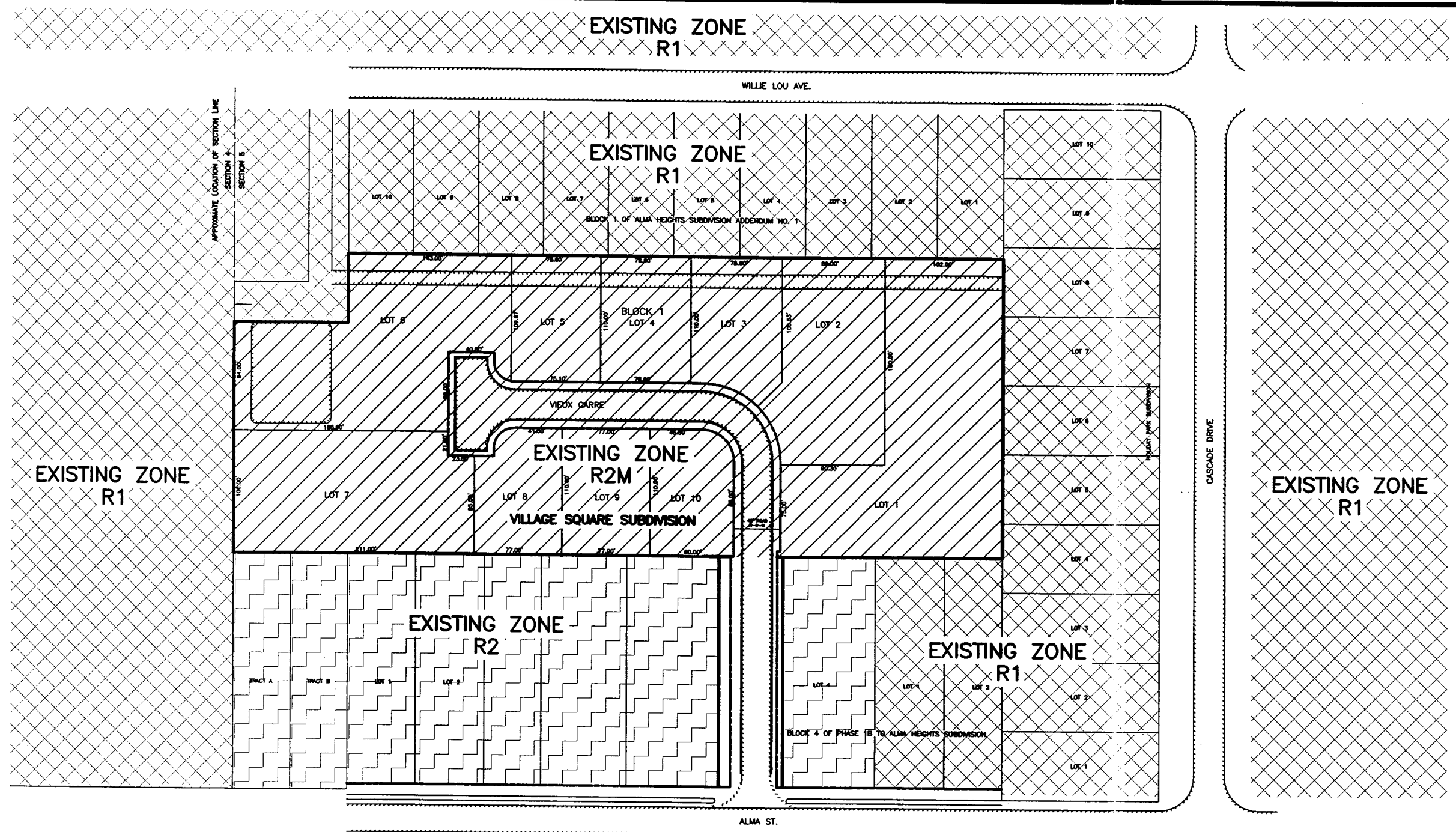
I (We) own 3.860 acres. A sum of \$35.00 dollars is enclosed and made a part of this application.

DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.



Signature of Owner or Authorized Agent-
DAVID A. WAITZ, AGENT

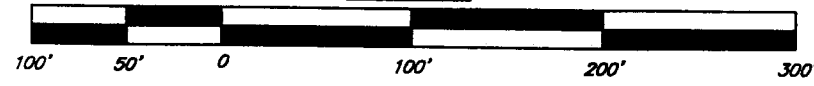


PREPARED BY:
DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.
 Civil Engineers & Professional Land Surveyors
 Thibodaux, Louisiana

DATE: MARCH 23, 2009

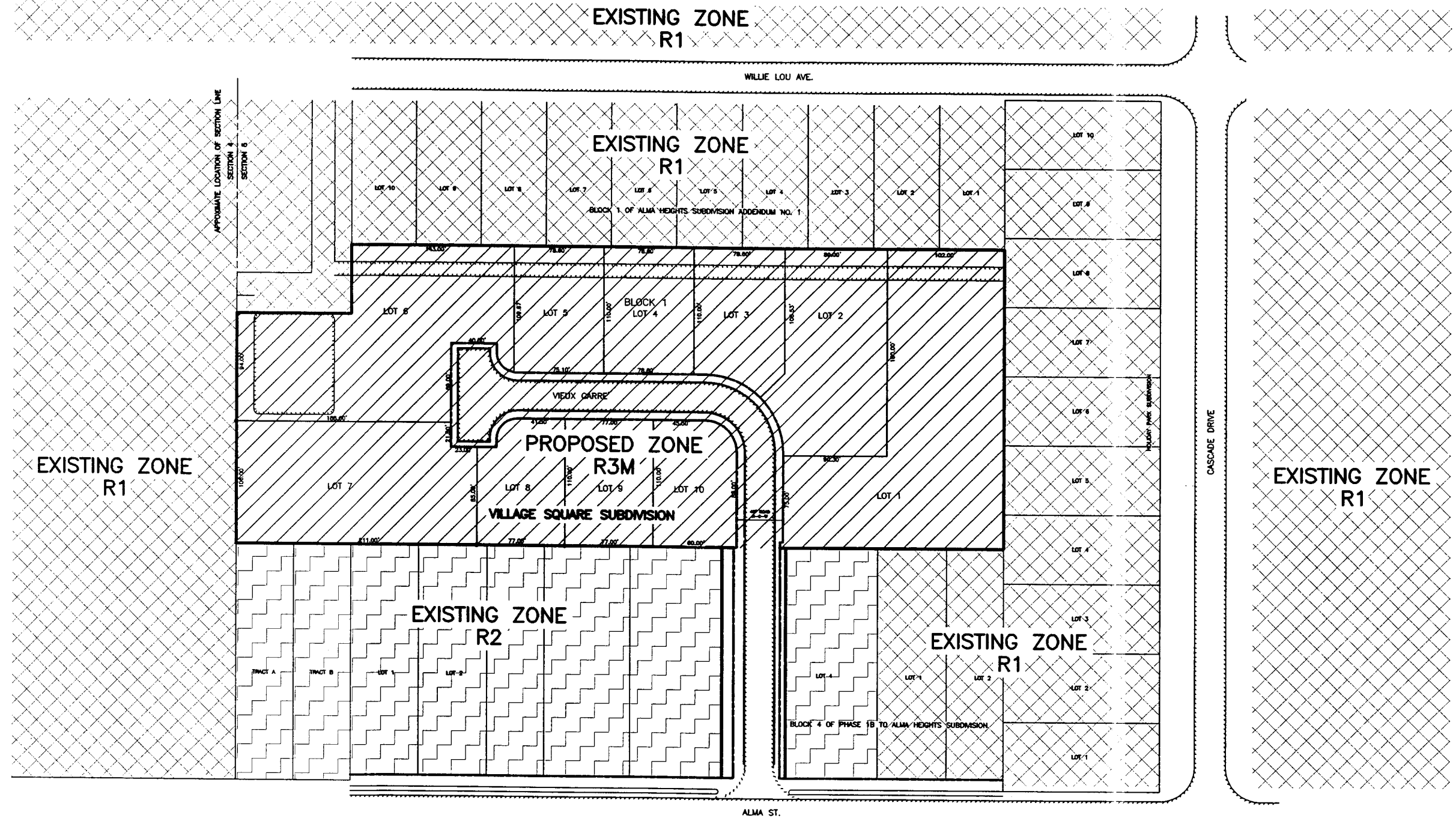
NOTE: THIS MAP DOES NOT REPRESENT
 A BOUNDARY SURVEY.

SCALE IN FEET



***EXISTING ZONING MAP FOR VILLAGE SQUARE
 SUBDIVISION AND SURROUNDING AREAS
 LOCATED IN SECTION 104, T17S-R17E
 TERREBONNE PARISH, LOUISIANA***

EXHIBIT "A"



PREPARED BY:
DAVID A. WAITZ
 ENGINEERING AND SURVEYING, INC.
 Civil Engineers & Professional Land Surveyors
 Thibodaux, Louisiana

DATE: MARCH 23, 2009

FILE: DWGS\2003\03-175\ZONING PLAT.dwg

NOTE: THIS MAP DOES NOT REPRESENT
 A BOUNDARY SURVEY.

SCALE IN FEET



**PROPOSED ZONING MAP FOR VILLAGE SQUARE
 SUBDIVISION
 LOCATED IN SECTION 104, T17S-R17E
 TERREBONNE PARISH, LOUISIANA**

EXHIBIT "B"

Houma-Terrebonne Regional Planning Commission
Zoning & Land Use Commission

P.O. Box 1446
 Houma, Louisiana 70361-1446
 Bus (985) 873-6793 - Fax (985) 580-8141

Z:U09/13
 Dist. 6

Upon receipt of an application for amendment, the office of the Zoning Administrator shall examine the application and shall make such investigation as is necessary. Within fifteen (15) days of receipt of an application, the office of the Zoning Administrator shall transmit the application, together with its report and recommendation, to the Zoning Commission. The Zoning Commission then shall hold a preliminary hearing on the application within thirty-five (35) days after receipt of such application for amendment and shall notify the applicant and the office of the Zoning Administrator of the time and place of such hearing. After holding a preliminary hearing, the Commission shall certify the application for public hearing, and shall notify the applicant of the time and place of such public hearing. The Commission shall fix a reasonable time of a public hearing and shall give public notice, as required by law, as well as notice to the applicant and to the office of the Zoning Administrator.

This ordinance, including the zoning map, is based on comprehensive studies, and is intended to carry out the objective of a sound, stable, and desirable development.

Please return the application and supporting plans to the office of the Zoning Administrator.

PLEASE COMPLETE THE FOLLOWING – NO APPLICATION ACCEPTED UNLESS COMPLETE

Date: 3-30-09

SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.
Applicant's Name

315 BARROW STREET, HOUMA, LA 70360
Address City State Zip

985-852-5500 985-852-5500
Telephone Number (Home) (Work)

100% Ownership
Interest in Ownership (Owner, etc.)

65.4 ACRES OF LOTS 1A & 2A BELONGING TO SOUTH HOLLYWOOD PROPERTIES #1, L.L.C. LOCATED IN SECTION 104, T17S-R17E BOUNDED NORTH BY REMAINING PROPERTY OF SOUTH HOLLYWOOD PROPERTIES #1, L.L.C. AND EAST BY TERREBONNE WIRELINE (LLOYD SONGE), CONCORD ROAD AND PROPERTY OF MERLIN LEBLANC AND TO THE SOUTH BY THE INTRACOASTAL WATERWAY AND TO THE WEST BY SANDY BEACH SUBDIVISION.
Address of Property to be Rezoned & Description (Lot, Block, Subdivision)

Zoning Classification Request:

From: R1 & I2 To: C2 & R1 & OL

Previous Zoning History: X No Yes

If Yes, Date of Last Application: _____

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

_____ **ERROR.** There is a manifest error in the ordinance.

_____ **CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

_____ **INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

 X **SUBDIVISION OF LAND.** The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. Legal Description: The legal description of only the property to be rezoned.

4. Market Information: Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. Development Schedule: Indicate a time schedule for the beginning and completion of development planned by the applicant:

DEVELOPMENT IS UNDERWAY. TO BE COMPLETED BY 1/1/2010.

6. Effect of the Amendment: On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

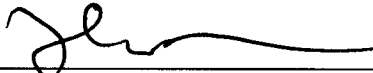
SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

SOUTH HOLLYWOOD PROPERTIES #1, L.L.C., 315 BARROW STREET, HOUMA, LA 70360

TIMOTHY J. THOMPSON, MANAGER

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:



TIMOTHY J. THOMPSON, MANAGER OF SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

N/A

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:



TIMOTHY J. THOMPSON, MANAGER OF SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

Minimum Charge - \$25.00;

Maximum Charge - \$100.00

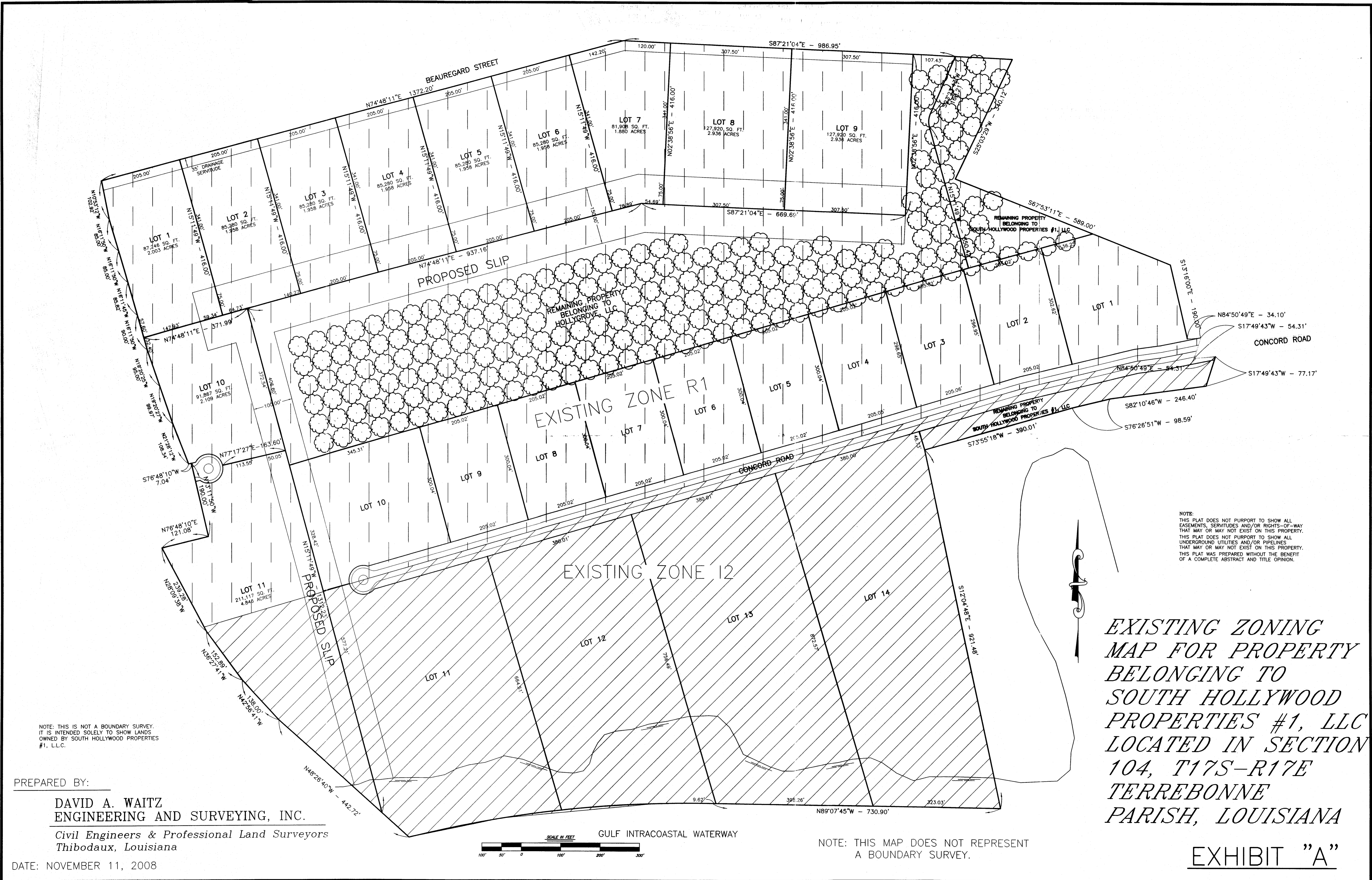
I (We) own 65.4 acres. A sum of \$ 77.50 dollars is enclosed and made a part of this application.

DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.



Signature of Owner or Authorized Agent-
DAVID A. WAITZ, AGENT



NOTE:
THIS PLAT DOES NOT PURPORT TO SHOW ALL
EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY
THAT MAY OR MAY NOT EXIST ON THIS PROPERTY.
THIS PLAT DOES NOT PURPORT TO SHOW ALL
UNDERGROUND UTILITIES AND/OR PIPELINES
THAT MAY OR MAY NOT EXIST ON THIS PROPERTY.
THIS PLAT WAS PREPARED WITHOUT THE BENEFIT
OF A COMPLETE ABSTRACT AND TITLE OPINION.

*EXISTING ZONING
MAP FOR PROPERTY
BELONGING TO
SOUTH HOLLYWOOD
PROPERTIES #1, LLC
LOCATED IN SECTION
104, T17S-R17E
TERREBONNE
PARISH, LOUISIANA*

EXHIBIT "A"

NOTE: THIS IS NOT A BOUNDARY SURVEY.
IT IS INTENDED SOLELY TO SHOW LANDS
OWNED BY SOUTH HOLLYWOOD PROPERTIES
#1, L.L.C.

PREPARED BY:
DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.
Civil Engineers & Professional Land Surveyors
Thibodaux, Louisiana

DATE: NOVEMBER 11, 2008

NOTE: THIS MAP DOES NOT REPRESENT
A BOUNDARY SURVEY.

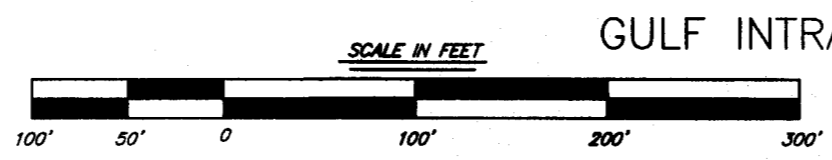


NOTE: THIS IS NOT A BOUNDARY SURVEY. IT IS INTENDED SOLELY TO SHOW LANDS OWNED BY SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.

NOTE: THIS PLAT DOES NOT PURPORT TO SHOW ALL EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES AND/OR PIPELINES THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE ABSTRACT AND TITLE OPINION.

PREPARED BY:
DAVID A. WAITZ
 ENGINEERING AND SURVEYING, INC.
 Civil Engineers & Professional Land Surveyors
 Thibodaux, Louisiana

DATE: NOVEMBER 11, 2008



GULF INTRACOASTAL WATERWAY

NOTE: THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY.

*PROPOSED ZONING
 MAP FOR PROPERTY
 BELONGING TO
 SOUTH HOLLYWOOD
 PROPERTIES #1, LLC
 LOCATED IN SECTION
 104, T17S-R17E
 TERREBONNE
 PARISH, LOUISIANA*

EXHIBIT "B"

AMENDMENT POLICY

1. **REASONS FOR THIS AMENDMENT:**

It is recognized that casual change of the ordinance would be detrimental to the achievement of stable development. It is public policy, therefore, to amend this ordinance only when one or more of the following conditions prevail:

PLEASE CHECK ONE OR MORE:

 ERROR. There is a manifest error in the ordinance.

 X **CHANGE IN CONDITIONS.** Changed or changing conditions in a particular area or in the metropolitan area generally make a change in the ordinance necessary and desirable.

 X **INCREASED NEED FOR SITES FOR BUSINESS OR INDUSTRY.** Increased or increasing needs for business or industrial sites, in addition to sites that are available, make it necessary and desirable to rezone an area or to extend the boundaries of an existing district.

 SUBDIVISION OF LAND. The subdivision or eminent subdivision of open land into urban building sites make reclassification necessary and desirable.

2. Please state on a separate sheet why this proposal complies with either one or more of the above checked conditions for rezoning.

EXHIBITS REQUIRED

1. **LEGAL PLAT OF PROPERTY TO BE REZONED:** On the required plat, please include:

- a. Land area to be affected;
- b. Present zoning classification of area to be affected and zoning classification of abutting districts;
- c. Public rights-of-way and easements bounding and intersecting the designated area and abutting districts;
- d. All existing and proposed structures with supporting open facilities;
- e. The specific ground area to be provided and continuously maintained for the proposed structure or structures.

2. List names and addresses or property owners within three hundred (300') feet of the fronting corners of the property to be rezoned.

3. **Legal Description:** The legal description of only the property to be rezoned.

4. **Market Information:** Applicable only if the following conditions are met:

- a. If the proposed amendment would require rezoning an area from an existing residential district to a freestanding commercial district;
- b. If the proposed amendment would require more than double the area of an existing district existing totally surrounded by residential districts;
- c. Finally, if the proposed amendment would enlarge an area of existing commercial district by more than eight (8) areas;

The market information shall include a written description of the market area to be served by the development, the population thereof, the effective demand for the proposed facilities and any other information describing the relationship of the proposed development to the needs of the applicable area.

5. **Development Schedule:** Indicate a time schedule for the beginning and completion of development planned by the applicant:

Construction beginning May 1, 2009 with anticipated

completion date of December 30, 2009

6. **Effect of the Amendment:** On a separate sheet, include a report giving the nature, description, and effect of the proposed amendment on surrounding land use and properties.

SIGNATURES REQUIRED

1. Names and addresses along with interest of every person, firm, or corporation represented by the applicant:

James J. Buquet III

1243 Bayou Black Drive Houma, LA
70360

2. The undersigned is owner(s) of the entire land area included within the proposed district and, in signing, indicates concurrence with application:

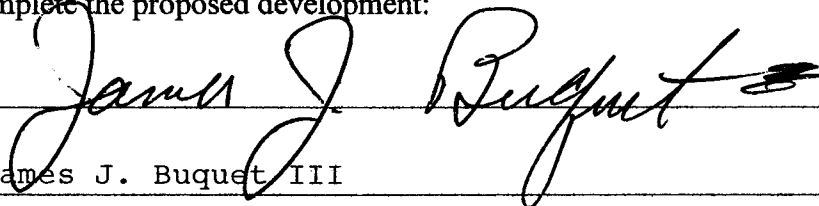
James J. Buquet III, Mrs. James J. Buquet, Jr.

Mrs. Andree Buquet-Casey, Mrs. Michelle Buquet Golding

3. Signatures and addresses of all holders of encumbrances, liens, mortgages, etc.:

N/A

4. Signature of applicant indicates that the applicants are all the owners and encumbrance holders of the designated area, and have both the means and ability to undertake and complete the proposed development:


James J. Buquet III

APPLICATION FEE SCHEDULE

The City of Houma has adopted the following fee schedule:

1. Map Amendment: \$25.00 / first acre
\$ 3.50 / every acre thereafter, up to fifteen (15) acres

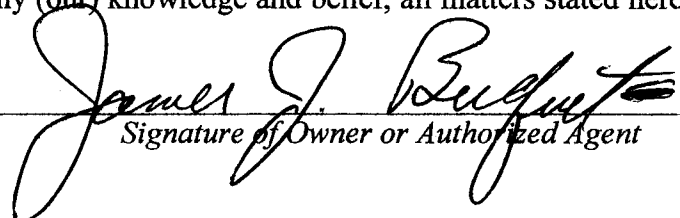
Minimum Charge - \$25.00;

Maximum Charge - \$100.00

I (We) own 18 acres. A sum of \$84.50 dollars is enclosed and made a part of this application.

DECLARATION

I (We) declare that, to be the best of my (our) knowledge and belief, all matters stated herein are true and correct.


Signature of Owner or Authorized Agent



To: Planning & Zoning Board
From: J.J. Buquet III
President
Buquet Distributing Company, Inc.
Date: Friday April 3, 2009
R.E.: Re-Zoning Request – Questions #2 & #6, #4

I am writing today to request a re-zoning of my warehouse distribution facility and all related property from its current C-2 Commercial to Light Industrial (I-1). Our business growth has led us to need an expansion of our facility as well as a remodel of our existing offices. It has come to our attention that in order to facilitate this addition, a re-zoning of the property is required.

Buquet Distributing Company has been in business since 1953 as the Anheuser Busch Beer Distributor servicing the parishes of St. Mary, Terrebonne, and Lafourche. We have been in our present location since 1980. Our present facility is beginning to show its age and our space constraints are beginning to confine our growth prospects. As a result, we plan to execute a warehouse expansion and office re-modeling project. This will be a design build project which is presently under bid. We anticipate the total project to run approximately \$5million dollars. It was our hope to initiate construction in May of this year with a target completion date of Q1 of 2010. This project has received Go Zone Financing approval by the Terrebonne Economic Development Commission and the Louisiana State Bond Commission.

The attached plat displays the related property. Our facility is bordered to the north by Little Bayou Black, to the west by the M&L pump station and Bayou Lacarpe, to the south by Southdown Elementary School and to the east by our own properties (Buquet Reality Company), St. Charles Street, and M&L Industries. The total area comprises approximately 16 acres (see attached plat).

Terrebonne Parish Consolidated Government has a right of way across this plat to the M&L pump station that shall be maintained at all times before, during, and after construction.

As for the potential impact with respect to the school, it should also be noted that Buquet Distributing Company has worked with the Principal of Southdown Elementary School to provide our facilities to them in times of extreme emergencies (i.e. gunman

BUQUET DISTRIBUTING COMPANY, INC.

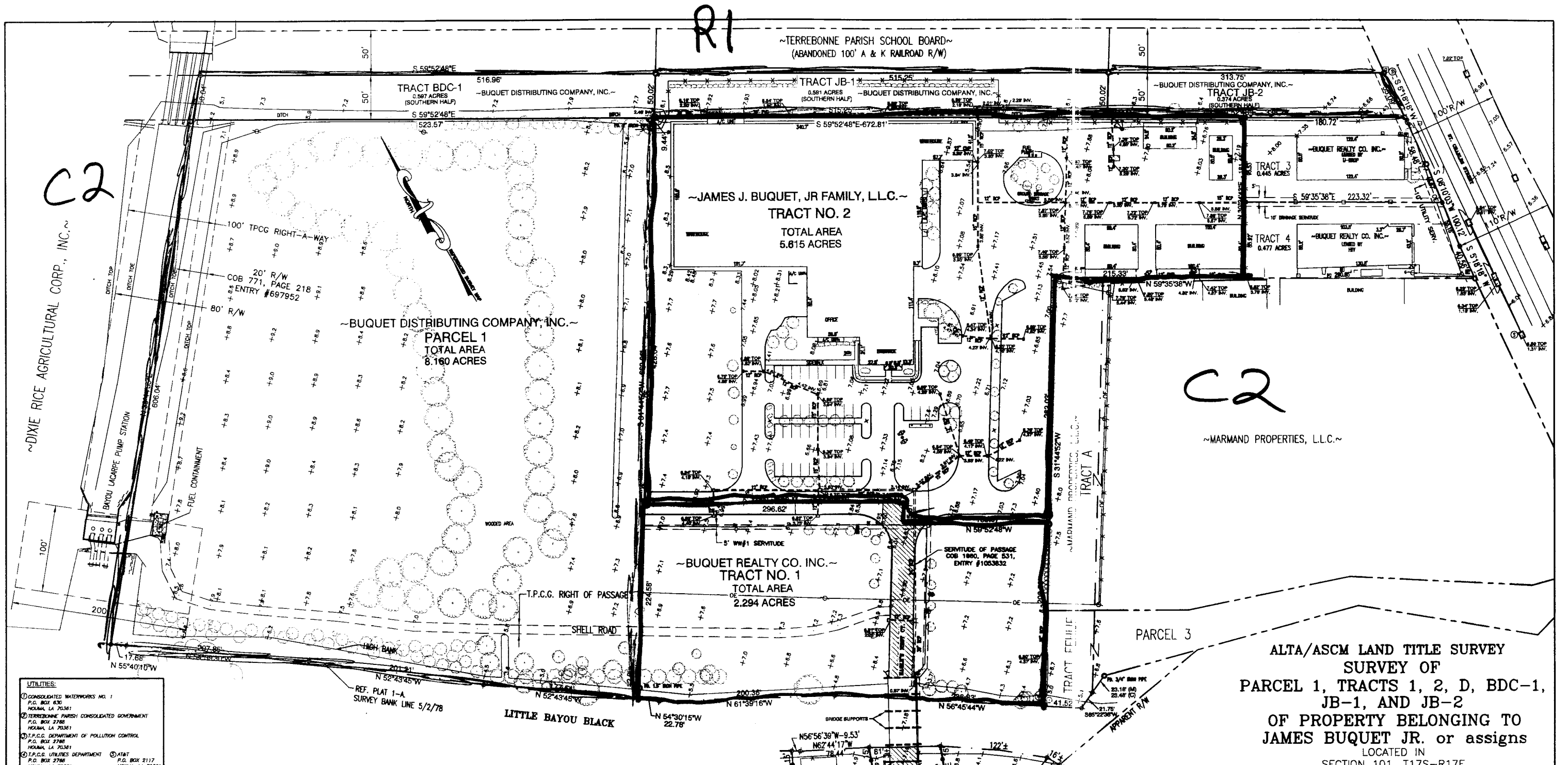
100 Eagles Nest Ct. • P.O. Box 7053 • Houma, LA 70361 • tel: (985) 853-3100 • fax: (985) 868-9060

type attack upon the school). The expansion of our drive through will actually enhance our ability to house the children should such a tragic event actually occur.

The only other plat that adjoins the property in question is that of M&L Tractor Company, a commercial facility with whom we have maintained favorable relations.

The requested change will not have any affect on the surrounding properties from a zoning perspective as the nature of our business will not change at all. It should be noted that we received packing from a source brewery in Houston and maintain floor inventory of approximately 20 days. As the Tri-Parish area has grown, so has our need for more floor inventory. It should be noted that we DO NOT brew, bottle, or can any product, at any time. We simply warehouse the product and, in turn, sell it to licensed alcoholic beverage retail outlets. This expansion will not change that business model in any way.

Thank you for your time and consideration in this matter. Should you have any questions, please feel free to call upon me at 985-637-6644.

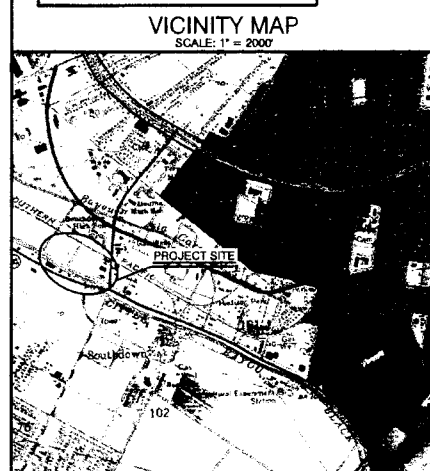


C2

C2

R1

- UTILITIES:**
- 1. CONSOLIDATED WATERWORKS NO. 1 P.C. BOX 630 NOUMLA, LA 70361
 - 2. TERREBONNE PARISH CONSOLIDATED GOVERNMENT P.C. BOX 2786 NOUMLA, LA 70361
 - 3. T.P.C.G. DEPARTMENT OF POLLUTION CONTROL P.C. BOX 2786 NOUMLA, LA 70361
 - 4. T.P.C.G. UTILITIES DEPARTMENT P.C. BOX 2117 NOUMLA, LA 70361



SURVEY NOTES:

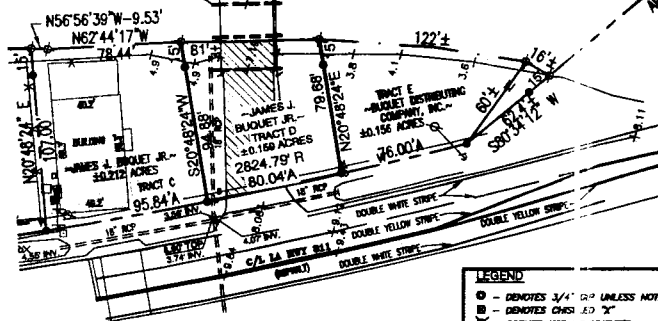
1. BEARINGS AND DISTANCES ARE REFERENCED TO THE FOLLOWING MAPS:
 - A. "MAP SHOWING SURVEY OF PARCELS 1, 2 & 3 OF MOINA DEVELOPMENT TRACT 1 WITHIN PORTION OF SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED MAY 2, 1978. (COB 746, PAGE 385)
 - B. "MAP SHOWING PROPOSED PROPERTY MAP OF TRACT 'A' BELONGING TO MARMAID PROPERTIES, INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED OCT. 18, 1978 AND REVISED JAN. 24, 1979. (COB 746, PAGE 386)
 - C. "SURVEY OF TRACT 2 OF PROPERTY OF BUQUET REALTY CO., INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY GULF SOUTH ENGINEERS AND DATED JAN. 25, 1980. (COB 783, PAGE 231, ENTRY #17,824) (COB 1517, PAGE 107, ENTRY #20,873)
 - D. "MAP SHOWING A PORTION OF TRACT 2 OF PROPERTY OF BUQUET REALTY CO., INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED MAY 30, 1978. (COB 1631, PAGE 241, ENTRY #13,821)
 - E. "MAP SHOWING PROPOSED RIGHT-OF-WAY ALONG BAYOU LACAPRE FOR THE TERREBONNE PARISH POLICE JURY ON PROPERTY BELONGING TO BOB MOORE AND MARIE YOUNG LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED MAY 30, 1978. (COB 771, PAGE 218, ENTRY #87,852)
 - F. "MAP SHOWING SURVEY LOT TO BE ACQUIRED BY JAMES BUQUET, JR. FROM SOUTHERN BUREAU INCORPORATED DESIGNATED BY THE LETTERS 'A', 'B', 'C' & 'D' LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED FEB. 10, 1961. (COB 306, PAGE 388)
 - G. "DIVISION OF PROPERTY BELONGING TO A & K RAILROAD MATERIALS, INC. LOCATED IN T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED DEC. 2, 1963. (COB 1438, PAGE 534, ENTRY #46,101)
 - H. "MAP SHOWING 5 FOOT SERVITUDE FOR WATERWORKS DISTRICT NO. 3 TERREBONNE PARISH, LOUISIANA, ACROSS THE PROPERTY OF BUQUET REALTY CO., INC.," PREPARED BY GULF SOUTH ENGINEERS, INC. AND DATED FEB. 10, 1961.
 - I. "MAP SHOWING TRACT E OF LOT R OF MOINA DEVELOPMENT TRACT 1 BELONGING TO CORNELL REALTY CORP. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED APRIL 24, 1968. (COB 1253, PAGE 401, ENTRY #21,307)
 - J. "SURVEY OF TRACT D BELONGING TO MARMAID PROPERTIES, INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY T. BAKER SMITH & SON AND DATED OCT. 15, 1978. (COB 746, PAGE 386)
 - K. "SERVITUDE OF LOT TO BE PURCHASED BY JAMES BUQUET, JR. FROM BUQUET REALTY CO., INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA," PREPARED BY DE FAYE ASSOCIATES, INC. AND DATED APRIL 10, 1988. (COB 676, PAGE 237, ENTRY 30,150)
 - L. "SURVEY OF REVISION OF TRACTS 2, B, AND A-B-C-D-A ON PROPERTY BELONGING TO JAMES J. BUQUET, JR. FAMILY, L.L.C. AND BUQUET REALTY CO., INC. LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LA" PREPARED BY DE FAYE ASSOCIATES, INC. AND DATED OCTOBER 21, 2008.
2. THIS SURVEY IS IN ACCORDANCE WITH "CLASS B" SURVEY CLASSIFICATION REQUIREMENTS OF THE LA MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.
3. VERTICAL DATUM FOR TOPOGRAPHY IS MEAN SEA LEVEL BASED ON LOCAL BENCHMARK, 2-221 ELEVATION IS +4.80' NAVIGABLE.
4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.
5. THE PROPERTY IS LOCATED IN ZONES "C" AS DESIGNATED ON FEMA FLOOD ELEVATION MAPS 22222D 0005 C DATED MAY 18, 1981. "ZONE 'C' REQUIRES NO FIRST FLOOR ELEVATION FROM ADVISORY BASE FLOOD ELEVATION MAP LA-0102 & R102 ANCHOR PROPERTY TO BE IN ZONE 'C'."
6. THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.

SETBACKS FOR ZONE C-2

FRONT	25'
REAR	20'
SIDES	5'

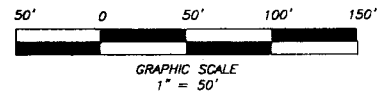
CALL LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.

R.S. 1749.13 REQUIRES EXCAVATORS AND DEMOLISERS TO NOTIFY A REGIONAL NOTIFICATION CENTER OF THEIR EXCAVATION ACTIVITY. TELEPHONIC NOTICE MUST BE GIVEN TO THE NOTIFICATION CENTER AT LEAST 48 HOURS, BUT NOT MORE THAN 120 HOURS, IN ADVANCE, EXCLUDING WEDNESDAYS AND HOLIDAYS. THE OWNER/OPERATOR OF AN UNDERGROUND FACILITY MUST MARK THE LOCATION OR PROVIDE INFORMATION TO ENABLE AN EXCAVATOR OR DEMOLISER USING REASONABLE MEANS TO DETERMINE THE LOCATION OF THE UNDERGROUND FACILITY.



- LEGEND**
- - DEMOTES 1/4" OR UNLESS NOTED
 - - EXISTING CURB 4:2
 - - CORNER NOT CHANGED
 - - EXISTING PUMP HOLE
 - - EXISTING ANCHOR WIRE
 - - EXISTING LIGHT POLE
 - - EXISTING WATER MAIN
 - - EXISTING FIRE HYDRANT
 - - EXISTING POWER JUNCTION BOX
 - - WATER LINE
 - - OVERHEAD ELEC. LINE
 - - TELEPHONE OR CABLE
 - - WATER METER
 - - GAS METER
 - - DRIVE PILE
 - - SINKER CLEANSING
 - - SIGN
 - - DEMOTES TREE

ALTA/ASCM LAND TITLE SURVEY
SURVEY OF
PARCEL 1, TRACTS 1, 2, D, BDC-1,
JB-1, AND JB-2
OF PROPERTY BELONGING TO
JAMES BUQUET JR. or assigns
 LOCATED IN
 SECTION 101, T17S-R17E
 TERREBONNE PARISH, LOUISIANA
 DATE: DEC. 09, 2008



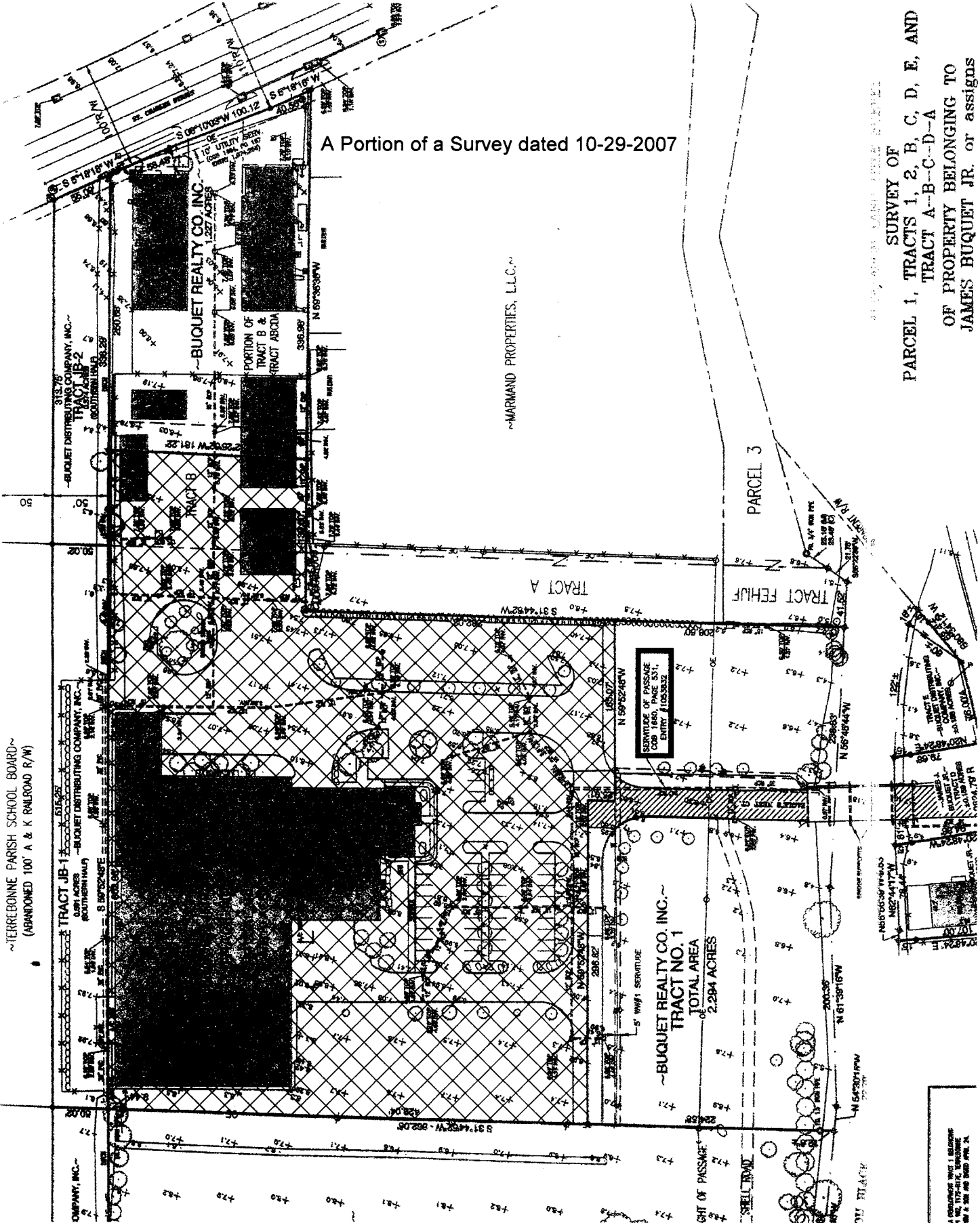
SURVEYOR'S CERTIFICATE

The undersigned hereby certifies to Capital One, N.A., ("Lender"), ("Borrower") and ("The Company") that on the date of preparation of this survey, and as of the latest revision date prior to the execution of this document, if any, shown on this survey that: (1) I am a duly registered land surveyor in the State of Louisiana; (2) This survey was made on the ground by me or under my direct supervision; (3) This map or plat and the survey on which it is based were made in accordance with the most recent "Minimum Standard Detail Requirements for ALTA/ASCM Land Title Surveys" jointly established and adopted by ALTA and NSPS and include optional items 2, 3, 4, 5, 8, 10, 11(a), and 17 of Table A thereof; (Note: Item 5 only needs to be included if there is a change in grade elevation anywhere across the property of 3 ft. or more vertically within 80 ft. horizontally, a change in grade elevation of 5 ft. or more vertically across the overall property, and/or an abrupt change in grade elevation anywhere in the property of 2 ft. or more vertically); (4) In my professional opinion, pursuant to the Accuracy Standards established by ALTA, NSPS, and ACSM and in effect on the date of this certification, the Relative Horizontal Accuracy of this survey does not exceed that which is specified therein; (5) I have received and assumed a copy of the ("Legal Description") ("Risk Insurance Commitment No. _____") issued by the Lender as well as a copy of each instrument listed therein and the subject land and each tract or parcel thereof described in this survey in the same level as described in the ("Legal Description") ("Risk Commitment"), and (6) except as shown on this survey, no part of the subject land is located in a 100-year flood plain or in an identified "flood prone area," as defined pursuant to the Flood Disaster Protection Act of 1973, as amended, as reflected by Flood Insurance Rate Map Panel #22222D 0005C, dated May 18, 1981, which such map panel covers the area in which the subject land is situated.

PRELIMINARY

Arthur A. DePratt, Jr.
 REG. NO. 1195
 REGISTERED PROFESSIONAL
 LAND SURVEYOR
 LA. LICENSE NO. 1199

~TERRIBONNE PARISH SCHOOL BOARD~
(ABANDONED 100' A & K RAILROAD R/W)



A Portion of a Survey dated 10-29-2007

~MARMAND PROPERTIES, L.L.C.~

~BUQUET REALTY CO. INC.~
TRACT NO. 1
TOTAL AREA
2.284 ACRES

SURVEY OF
PARCEL 1, TRACTS 1, 2, B, C, D, E, AND
TRACT A--B--C--D--A
OF PROPERTY BELONGING TO
JAMES BUQUET JR. or assigns

1. BEARING AND DISTANCE
2. BEARING AND DISTANCE
3. BEARING AND DISTANCE

PREMISE OF THE APPRAISAL

Identification of the Property: The subject property is an office/warehouse facility that is owned by James J. Buquet Jr. Family, LLC and occupied by Buquet Distributing. For the purpose of this report, the subject is considered to be owner occupied. The property is located on the north side of Highway 311 just west of St. Charles Street. The subject's legal description is Tract 2 as depicted on the attached plat. The property is located in Section 102, T17S-R17E, Terrebonne Parish, Louisiana. The property bears an address of 100 Eagles Nest Court, Houma, Louisiana. *Full legal descriptions and plats are included within the report.*

Scope of Work

Extent to which the property is identified

I was provided with a copy of the current survey dated October 29, 2007 by the client. This appraisal is based upon the assumption that this document is accurate as to the subject's site size and configuration. At the time of inspection, I gathered notes as to the physical characteristics of the subject and have included this information within the report.

Extent to which tangible property is inspected

In preparing this appraisal, I visited the subject property on June 28, 2007. I measured the improvements located on the site at this time as well as inspected the interior and exterior of the premises.

I visited the subject site in order to develop impressions of the physical characteristics based on visual observations of apparent conditions. This appraisal is not a property condition report, and should not be relied upon to guarantee the property to be free of defects. I am not an engineer, licensed land surveyor or environmental specialist of any kind.

The presence of hazardous materials may negatively affect market value. I have no reason to suspect the presence of hazardous substances, and I valued the site assuming that none are present. No responsibility is assumed for any such conditions or for any expertise or engineering required to detect or discover them. I urge the user of this report to obtain the services of specialists for the purpose of conducting inspections, engineering studies, or environmental audits. While I refer to FEMA flood maps, I am not a surveyor and not qualified to make flood plain determinations, and I recommend that a qualified party be consulted before any decision is made.



GSE

Associates, Inc.

Engineers • Architects • Planners • Surveyors

Legal Description of
0.304 Acres to be

Acquired by James J. Buquet, Jr. Family, L.L.C.

A certain tract of land situated in Section 101, T17S-R17E, Terrebonne Parish Louisiana, described as commencing at the southeast corner of Tract 4; thence N 59°35' 38"W a distance of 260.65' to a chiseled "X", the point of beginning;

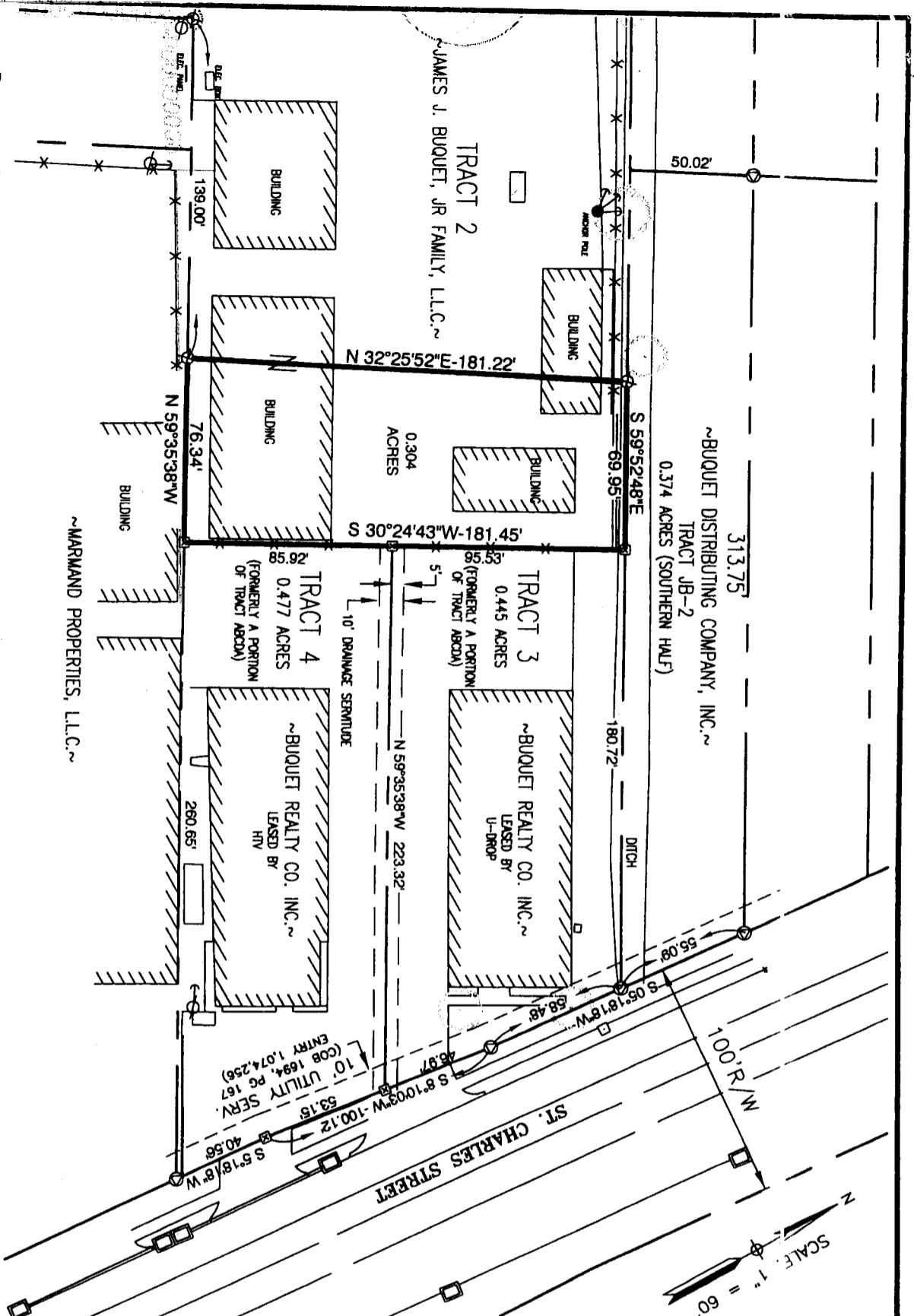
Thence N 59°35' 38"W a distance of 76.34' to a point;

Thence N 32°25'52"E a distance of 181.22' to a point;

Thence S 59°52'48"E a distance of 69.95' to a point;

Thence S 30°24' 43"W a distance of 181.45' to point, being the point of beginning.

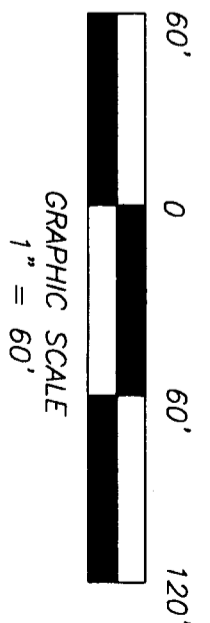
All as shown on a plat entitled "Survey Showing 0.304 Acres of Property To Be Acquired From Buquet Realty Co., Inc To James J. Buquet, Jr. Family, L.L.C., located in Section 101, T17S-R17E, Terrebonne Parish, Louisiana" prepared by GSE Associates, Inc. and dated December 04, 2008.



- LEGEND**
- ⊙ - DENOTES 3/4" IRON PIPE
 - ⊠ - CORNER NOT MONUMENTED
 - ⊗ - EXISTING POWER POLE
 - ⌒ - EXISTING ANCHOR WIRE
 - ⊠ - DENOTES CHISELED X
 - *** - FENCE
 - - CATCH BASIN
 - - DENOTES TREE

**SURVEY SHOWING
0.304 ACRES OF PROPERTY
TO BE ACQUIRED FROM
BUQUET REALTY CO., INC. TO
JAMES J. BUQUET, JR. FAMILY, L.L.C.**

LOCATED IN
SECTION 101, T17S-R17E
TERREBONNE PARISH, LOUISIANA
DATE: DEC. 4, 2008



SURVEY NOTES:

1. BEARINGS AND DISTANCES ARE REFERENCED TO THE FOLLOWING MAPS:
SURVEY OF REDIVISION OF TRACTS 2, B, AND A-B-C-D-A ON PROPERTY BELONGING TO JAMES J. BUQUET, JR. FAMILY, L.L.C. AND BUQUET REALTY CO., INC.; LOCATED IN SECTION 101, T17S-R17E, TERREBONNE PARISH, LA; PREPARED BY GSE ASSOCIATES, INC. AND DATED OCTOBER 21, 2008.
2. THIS SURVEY IS IN ACCORDANCE WITH "CLASS B" SURVEY CLASSIFICATION REQUIREMENTS OF THE LA. MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS.
3. THE PROPERTY IS LOCATED IN ZONES "C" AS DESIGNATED ON F.E.M. F.I.R.M. PANEL #220220 0005 C DATED MAY 19, 1981. ZONE "C" REQUIRES NO FIRST FLOOR ELEVATION. FEMA ADVISORY BASE FLOOD ELEVATION MAP LA-0102 INDICATES PROPERTY TO BE IN ZONE "C".
4. THIS SURVEY WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT.

GSE Associates, Inc.

Engineers • Architects • Planners • Surveyors

991 Grand Caillou Road
Houma, Louisiana 70363-5705
Phone (985) 876-6380
Fax (985) 876-0621

2315 North Woodlawn Avenue
Suite 201
Metairie, Louisiana 70002-7402
Phone (504) 454-1710 Fax (504) 454-1781

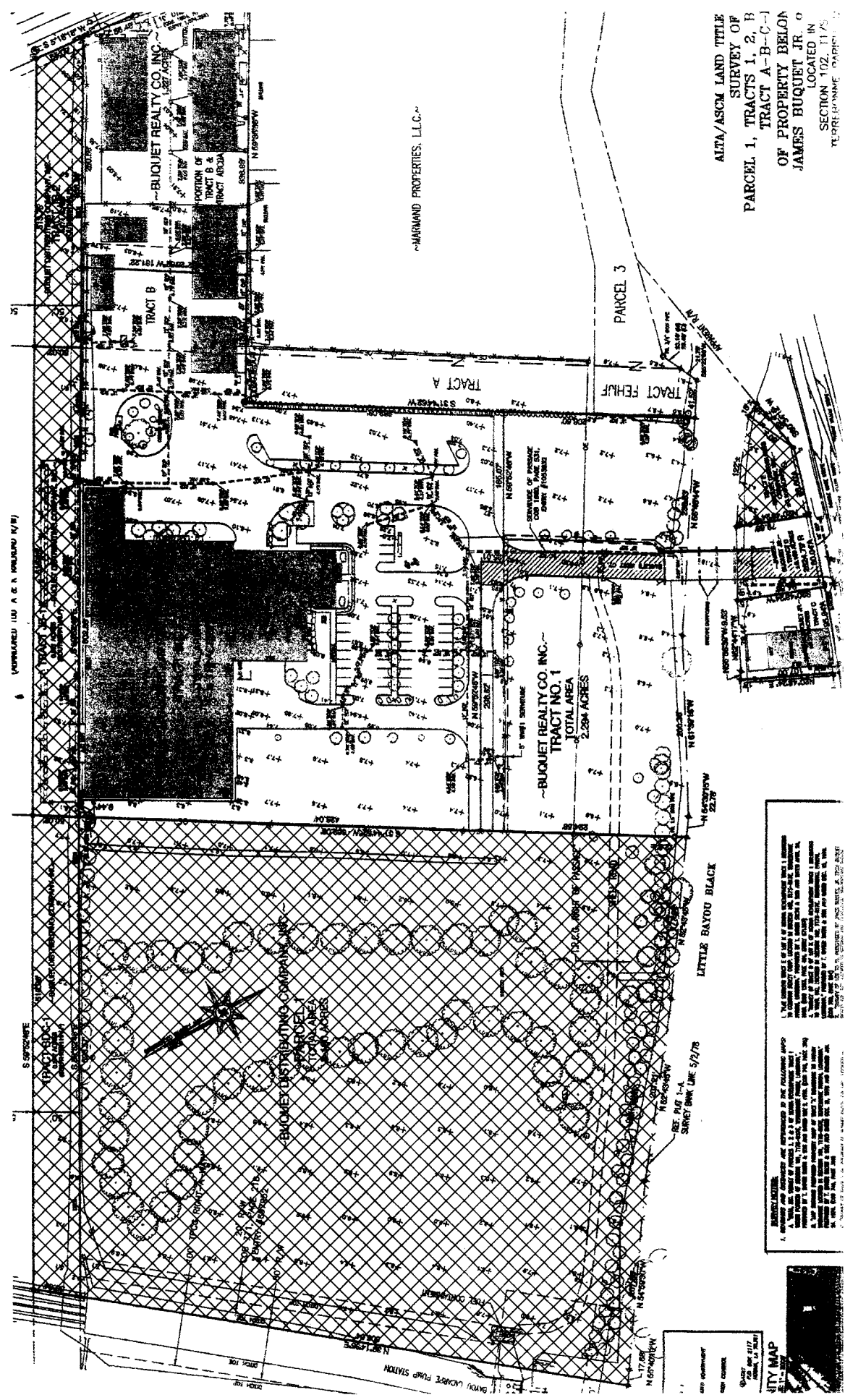
800 Youngs Road Morgan City, Louisiana 70381
Phone (985) 384-2521 Fax (985) 876-0621



Arthur A. Defraites, Jr.
12/4/08

ARTHUR A. DEFRAITES, JR.
REGISTERED PROFESSIONAL
LAND SURVEYOR
LA. LICENSE NO. 1199

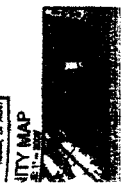
Prepared By:



ALTA/ASCM LAND TITLE
 SURVEY OF
 PARCEL 1, TRACTS 1, 2, B
 OF PROPERTY BELONGING
 TO JAMES BUQUET JR.
 LOCATED IN
 SECTION 102, T11N,
 R10E, 10TH RANGE, 10TH DISTRICT,
 TARRANT COUNTY, TEXAS

GENERAL NOTES:

1. THIS SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMES IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEYING ACTS OF TEXAS AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING.
2. THIS SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMES IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEYING ACTS OF TEXAS AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING.
3. THIS SURVEY WAS MADE BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IT COMES IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEYING ACTS OF TEXAS AND THE RULES AND REGULATIONS OF THE BOARD OF SURVEYING AND MAPPING.



CITY MAP
 CITY OF HOUSTON
 MAP NUMBER
 DATE
 DRAWN BY
 CHECKED BY
 TITLE

EXHIBIT "A"

DESCRIPTION OF TRACT "E"
BELONGING TO CONTRAN REALTY CORP.
LOCATED IN SECTION 102, T17S-R17E,
TERREBONNE PARISH, LOUISIANA

COMMENCING at a point located S 66°08'55" W, a distance of 5,033.11 feet from U. S. C. & G. S. "Houma", said point being on the northerly right-of-way line of La. Hwy. No. 311 and designated as Point "A" and point of beginning;

THENCE, N 20°48'24" E, a distance of 79.68 feet to the south bank line of Little Bayou Black designated as Point "B";

THENCE, in a southeasterly direction along the south bank line of Little Bayou Black a distance of approximately 122 feet to the intersection with the north right-of-way line of La. Hwy. No. 311 and designated as Point "C";

THENCE, S 65°49'38" W, along the north right-of-way line of La. Hwy. No. 311, a distance of approximately 60 feet to Point "D";

THENCE, along a curve to the right along the north right-of-way line of La. Hwy. No. 311 having an arc length of 75.21 feet, central angle of 01°22'43", radius of 3,126.05 feet and long chord bearing and distance of N 72°28'29" W, 75.21 feet to Point "A", the point of beginning; tract contains 0.1419 acre, more or less.

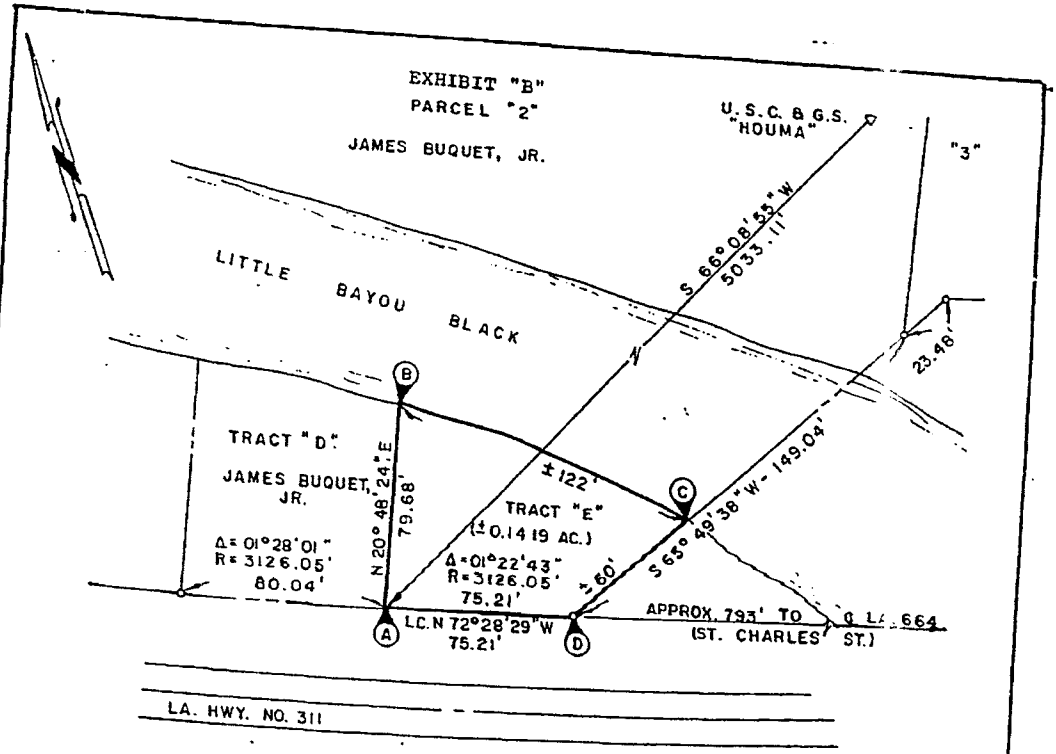
All as shown on a plat prepared by T. Baker Smith & Son, Inc. titled "Plat Showing Tract "E" of Lot "K" of Houma Development Tract 1 Belonging To Contran Realty Corp. Located In Section 102, T17S-R17E, Terrebonne Parish, Louisiana," dated April 24, 1989.

April 24, 1989

"NE VARIETUR" for identification with
an Act of Cash Sale this day passed
before me at Houma, Louisiana.
Oct 11, 1990.

Edmund McCollam
NOTARY PUBLIC
EDMUND MCCOLLAM

404



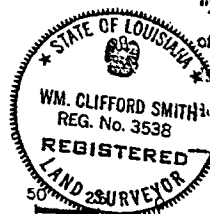
○ DENOTES 3/4" G.I. PIPE

PLAT SHOWING TRACT "E" OF LOT "K" OF HOUMA DEVELOPMENT TRACT 1 BELONGING TO CONTRAN REALTY CORP. LOCATED IN SECTION 102, T17S - R17E, TERREBONNE PARISH, LOUISIANA.

T. BAKER SMITH & SON, INC.
CIVIL ENGINEERS - SURVEYORS
HOUMA, LOUISIANA

APRIL 24, 1989

APPROVED: *Wm. Clifford Smith*



"No Variatur" for identification with an act of Cash Sale of this

passed by the Board of Commissioners of the State of Louisiana, October 14, 1990

NOTARY PUBLIC
EDMUND McCOLLAM
50 100

SCALE IN FEET

404

EXHIBIT "A"

A certain tract of land shown as the southernmost one-half of Tracts BDC-1, JB-1, JB-2 on a map entitled "Division of Property Belonging to A & K Railroad Materials, Inc., Located in T17S-R17E, Terrebonne Parish, Louisiana", prepared by T. Baker Smith & Son, Inc., dated December 2, 1993, recorded in the records of Terrebonne Parish, Louisiana, under entry number 928773, Map number 9174.

The above map is not intended to be a property survey. The southernmost one-half of Tracts BDC-1, JB-1, JB-2 represents one-half of the entire property owned by A & K Railroad Materials, Inc., located between the easternmost and westernmost property lines of Purchaser herein; the northernmost one-half of the above mentioned tracts being sold and donated to the Terrebonne Parish School Board.

FILED FOR RECORD
PARISH OF
TERREBONNE, LA

'94 OCT 28 P3:10

Theresa M. Smith
DEPUTY CLERK OF COURT

337

acknowledging due delivery and possession thereof, the following described property, to-wit:

TRACT I.

All the undivided right, title and interest of vendor, being an undivided one-half (1/2) interest, in and to the following described property, to-wit:

One certain tract of land more particularly designated as Parcel "1" as shown on plat entitled "VALHI, INC. SURVEY OF PARCELS "1", "2" & "3" OF HOUMA DEVELOPMENT TRACT 1 WITHIN PORTION OF SECTION 101, T17S-R17E, TERREBONNE PARISH, LOUISIANA", prepared by T. Baker Smith & Son, Inc., Civil Engineers-Land Surveyors, under date of May 2, 1978, a copy of which plat is recorded under Entry No. 570019, Records of Terrebonne Parish, Louisiana, said Parcel "1" containing 3.148 acres, and being more particularly described by notes and bounds as set forth on Exhibit "A" attached hereto and made a part hereof.

LESS AND EXCEPT the following described property, to-wit:

A certain strip of land, situated in the Parish of Terrebonne, State of Louisiana, in Section 101, T17S-R17E, measuring twenty (20') feet in width by a length of approximately four hundred sixty-five (465') feet, the northwesternmost side line of said strip located twenty-two (22') feet from and parallel to the northwesternmost property line of vendor, the northeastern end of said strip is contiguous with the property of the Southern Pacific Transportation Company and more fully shown on the plat of survey entitled "Map Showing Proposed Right of Way Along Bayou LaCarpe for the Terrebonne Parish Police Jury", made by the office of T. Baker Smith & Son, dated May 30, 1979, and identified as TRACT A, a copy of which is attached.

TRACT II.

All the undivided right, title and interest of vendor, being an undivided one-fourth (1/4) interest, in and to the following described property.

One certain tract of land more particularly designated as Tract "D", as shown on plat entitled "SURVEY OF TRACT "D" OF LOT "K" OF HOUMA DEVELOPMENT TRACT 1 BELONGING TO VALHI, INC. IN SECTION 102, T17S-R17E TERREBONNE PARISH, LOUISIANA", prepared by T. Baker Smith & Son, Inc., Civil Engineers-Surveyors, dated December 15, 1978, a copy of which plat is attached hereto, marked Exhibit "B", which tract is more particularly described by notes and bounds as set forth on Exhibit "C" attached hereto, both of which Exhibits are paraphrased "NE VARIETUR" for identification herewith and made a part hereof.

This sale is made subject to all existing rights-of-way and/or servitudes of record.

340

EXHIBIT "A"

PARCEL "1"

COMMENCING at a point S 70° 26' 14" W, a distance of 4,298.82 feet from U. S. C. & G. S. Monument "Nouana", said point being on the southerly right-of-way line of the Southern Pacific Railroad;

THENCE, N 59° 24' 48" W, a distance of 515.26 feet to the Point of Beginning;

THENCE, S 31° 44' 52" W, a distance of 662.06 feet to a point, said point being on the northerly bank of Little Bayou Black;

THENCE, along said bank as follows:

N 54° 30' 15" W, a distance of 177.64 feet to a point;

N 51° 56' 44" W, a distance of 201.21 feet to a point;

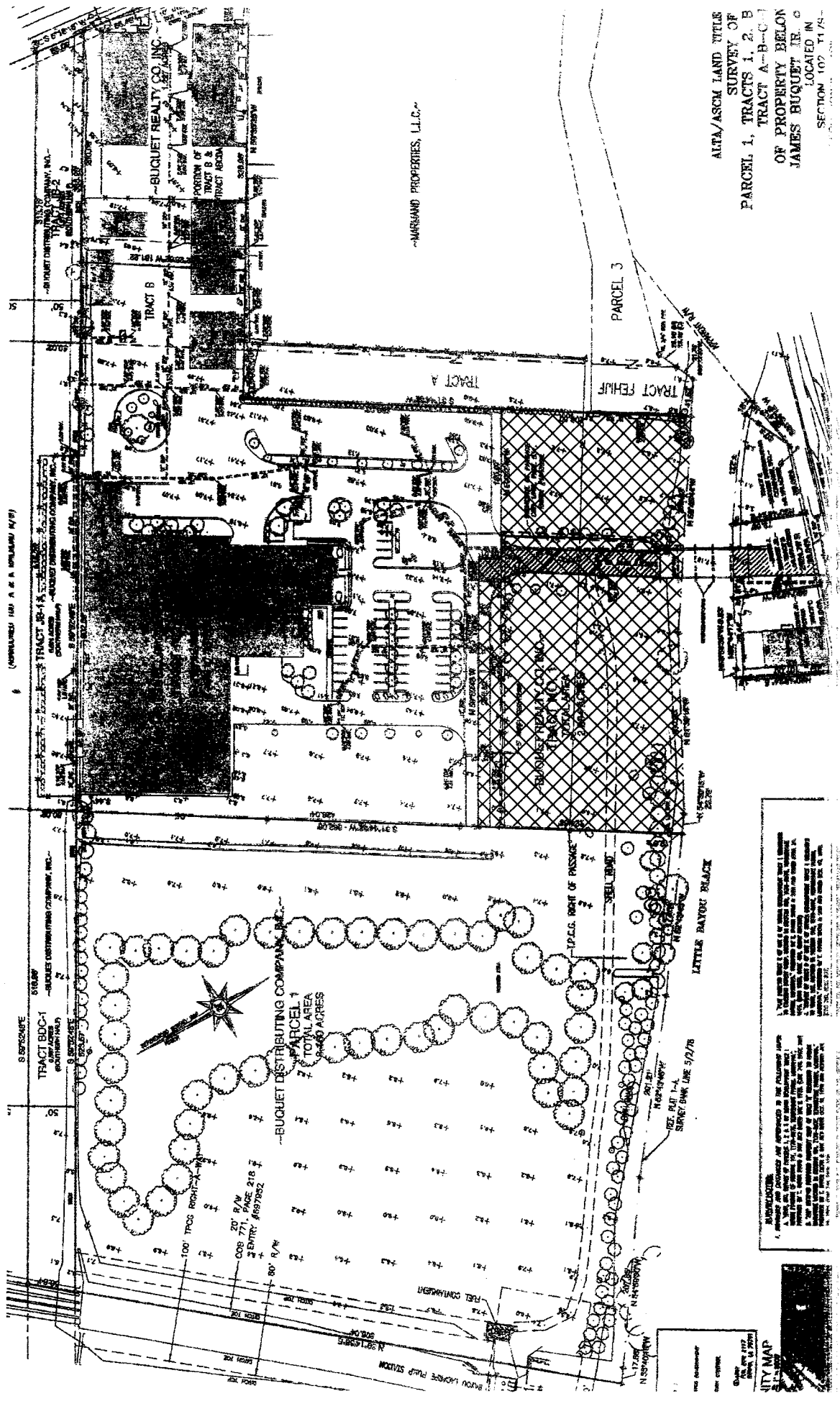
N 54° 59' 30" W, a distance of 207.85 feet to a point;

N 55° 40' 10" W, a distance of 17.68 feet to a point, said point also being the easterly bank of Bayou LaCarpe;

THENCE, along said bank N 39° 14' 35" E, a distance of 606.04 feet to a point;

THENCE, S 59° 52' 48" E, a distance of 523.57 feet to the Point of Beginning, said parcel containing 0.160 acres, and being bounded Easterly by Parcel "2", Westerly by Bayou LaCarpe, Northerly by Southern Pacific Transportation Company, and Southerly by Little Bayou Black.

340



ALTA/ASCM LAND TITLE SURVEY OF PARCEL 1, TRACTS 1, 2, B OF PROPERTY BELONGING TO JAMES BUQUET JR. LOCATED IN SECTION 107 T17S-

DISCLAIMER:
 THIS MAP AND SURVEY ARE PREPARED BY THE FOLLOWING FIRM: [Firm Name]
 A. THIS IS A PARTIAL SURVEY OF THE ENTIRE TRACT AND THE BOUNDARIES SHOWN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A FULL SURVEY OF THE ENTIRE TRACT.
 B. THE SURVEYOR HAS NOT CONDUCTED A FULL SURVEY OF THE ENTIRE TRACT AND THE BOUNDARIES SHOWN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A FULL SURVEY OF THE ENTIRE TRACT.
 C. THE SURVEYOR HAS NOT CONDUCTED A FULL SURVEY OF THE ENTIRE TRACT AND THE BOUNDARIES SHOWN ARE BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED A FULL SURVEY OF THE ENTIRE TRACT.

CITY MAP
 [Firm Name]
 [Address]
 [Phone Number]

PREMISE OF THE APPRAISAL

Identification of the Property: The subject property is a vacant tract of land that is owned by Buquet Realty Company, Inc. The property is located to the north side of Highway 311 just west of St. Charles Street. The subjects legal description is Tract No. 1 as depicted on the attached plat. The property is located in Section 102, T17S-R17E, Terrebonne Parish, Louisiana. The municipal address of the property is unknown. *Full legal descriptions and plats are included within the report.*

A certain tract of land situated in the Parish of Terrebonne, State of Louisiana, and located in Section 101, T17S, R17E, and being more particularly described on a plat prepared by T. Baker Smith & Son, Inc., dated October 18, 1978, revised January 24, 1979, and titled "Map Showing Proposed Property Swap of Tract 'A' belonging to Marvin Marmande, located in Section 101, T17S, R17E, Terrebonne Parish, Louisiana", a copy of which is annexed hereto and made part hereof, as follows:

COMMENCING at a point S $70^{\circ} 26' 14''$ W, a distance of 4,298.82 feet from the U.S.C. & G.S. Monument "Houma", said point being on the southerly right-of-way line of the Southern Pacific Transportation Co., marked "A" on the attached plat and being the point of beginning.

THENCE, along the right-of-way line of Southern Pacific Transportation Co. S $59^{\circ} 52' 48''$ E, a distance of 114.00 feet to a point marked "B" on the attached plat;

THENCE, S $32^{\circ} 25' 52''$ W, a distance of 181.35 feet to a point marked "C" on the attached plat;

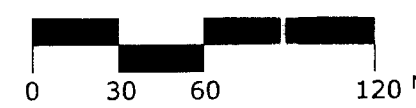
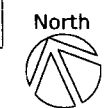
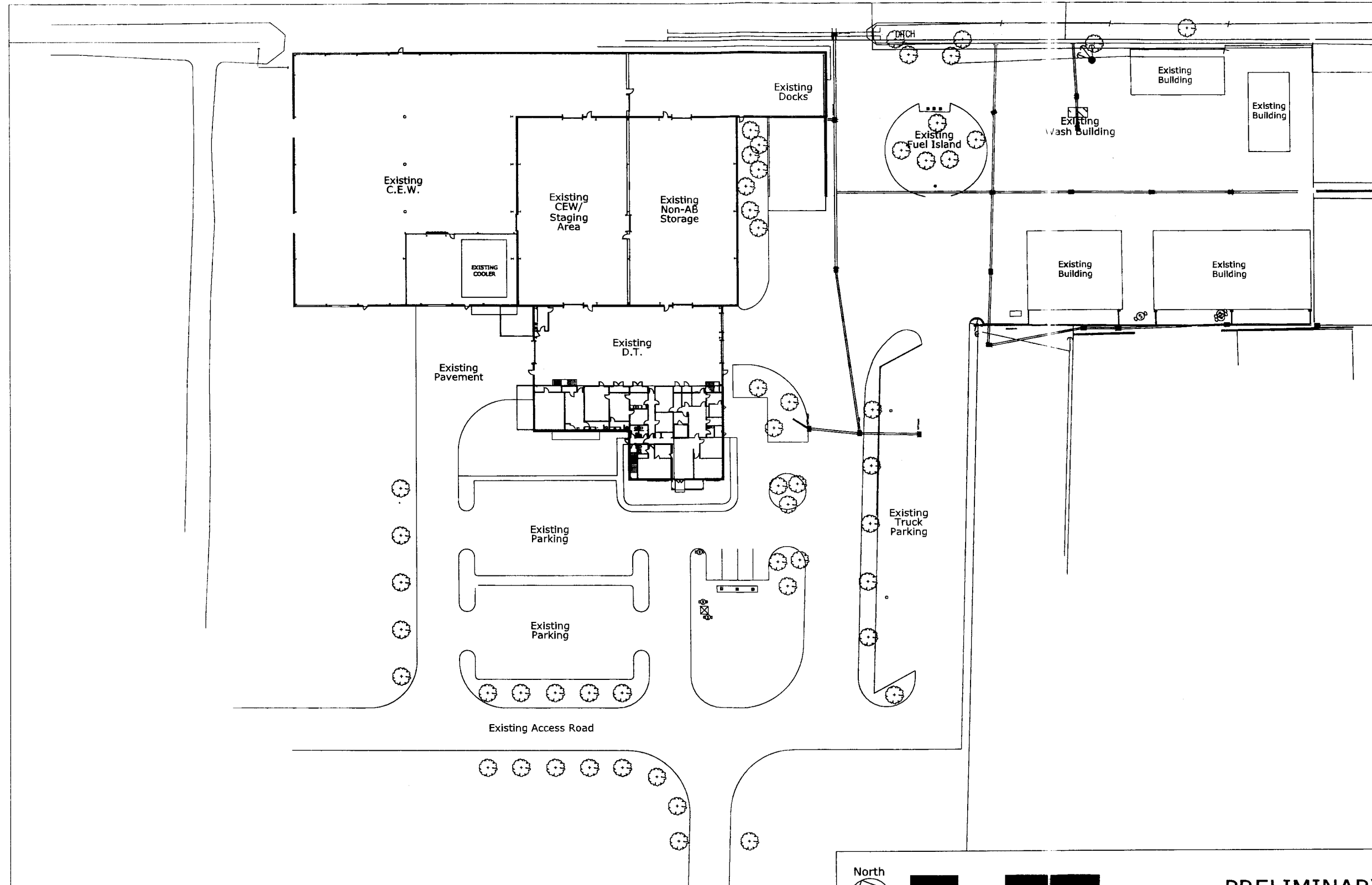
THENCE, N $59^{\circ} 35' 38''$ W, a distance of 111.85 feet to a point marked "D" on the attached plat;

THENCE, N $31^{\circ} 44' 52''$ E, a distance of 180.72 feet to a point marked "A" on the attached plat, the point of beginning;

Said tract, above described, being identified as Tract "11", on the aforescribed plat of survey and containing 0.468 acres of ground.

Together with all rights, ways, privileges, servitudes and appurtenances thereunto belonging or in any wise appertaining.

Existing Site Plan



PRELIMINARY

NOTE: THIS DRAWING IS NOT FOR CONSTRUCTION

AAIC Inc.
 One D...
 707.241.1111
 10000...



Buquet Distributing Co, Inc.
 Houma, LA 70631

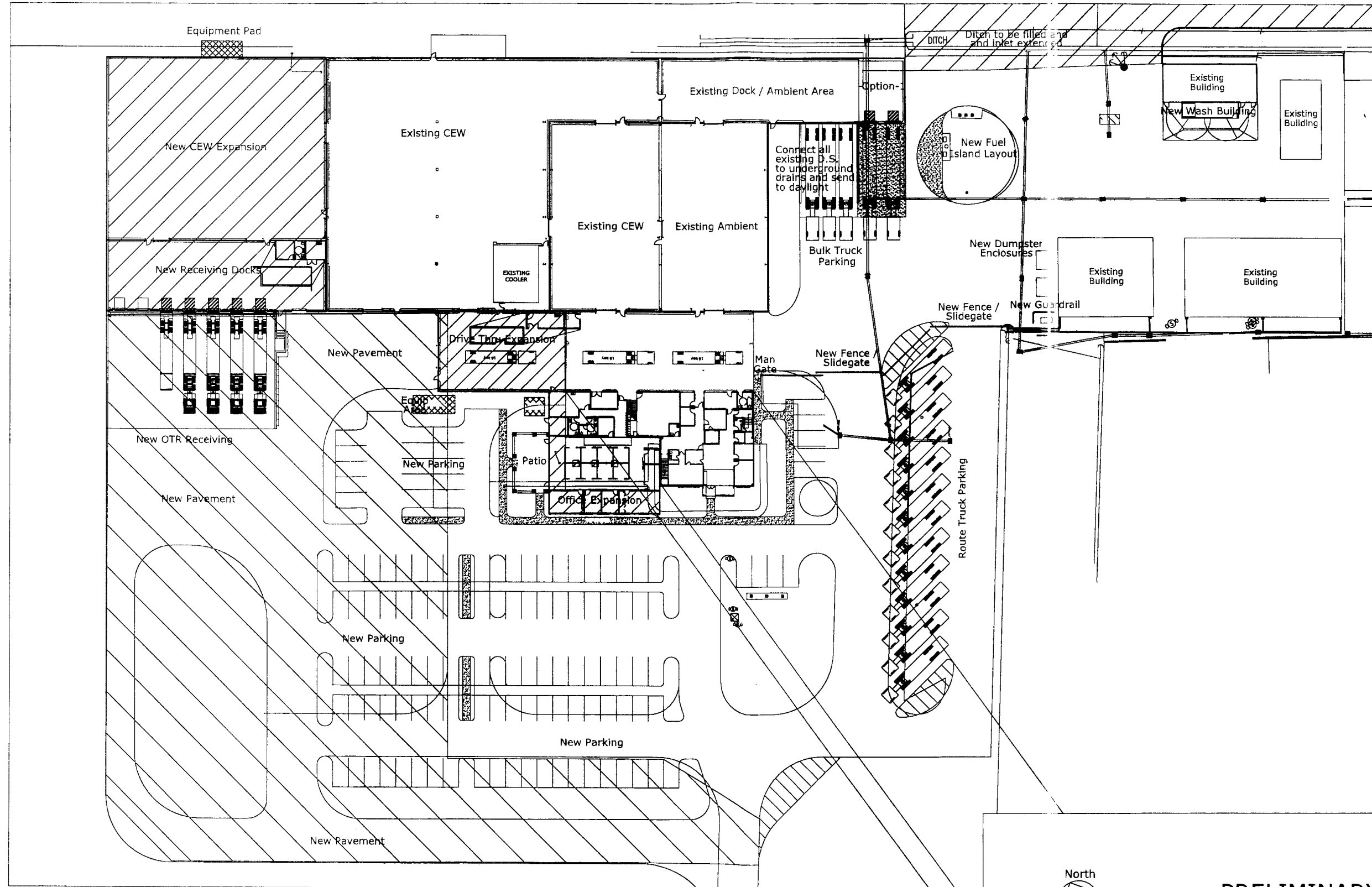


DATE
 Feb, 2009
 SCALE
 1" = 30'-0"
 Drawn By
 MLF

DWG. NAME:

Ex. Site Plan

Site Layout Plan



North

PRELIMINARY

NOTE: THIS DRAWING IS NOT FOR CONSTRUCTION

AAIC INC.
 2000 Lakeshore Blvd.
 Suite 100
 Houma, LA 70331
 Phone: 847-231-1234
 Fax: 847-231-1235
 Website: www.aaic.com



Buquet Distributing Co, Inc.
 Houma, LA 70631



DATE
 Feb, 2009

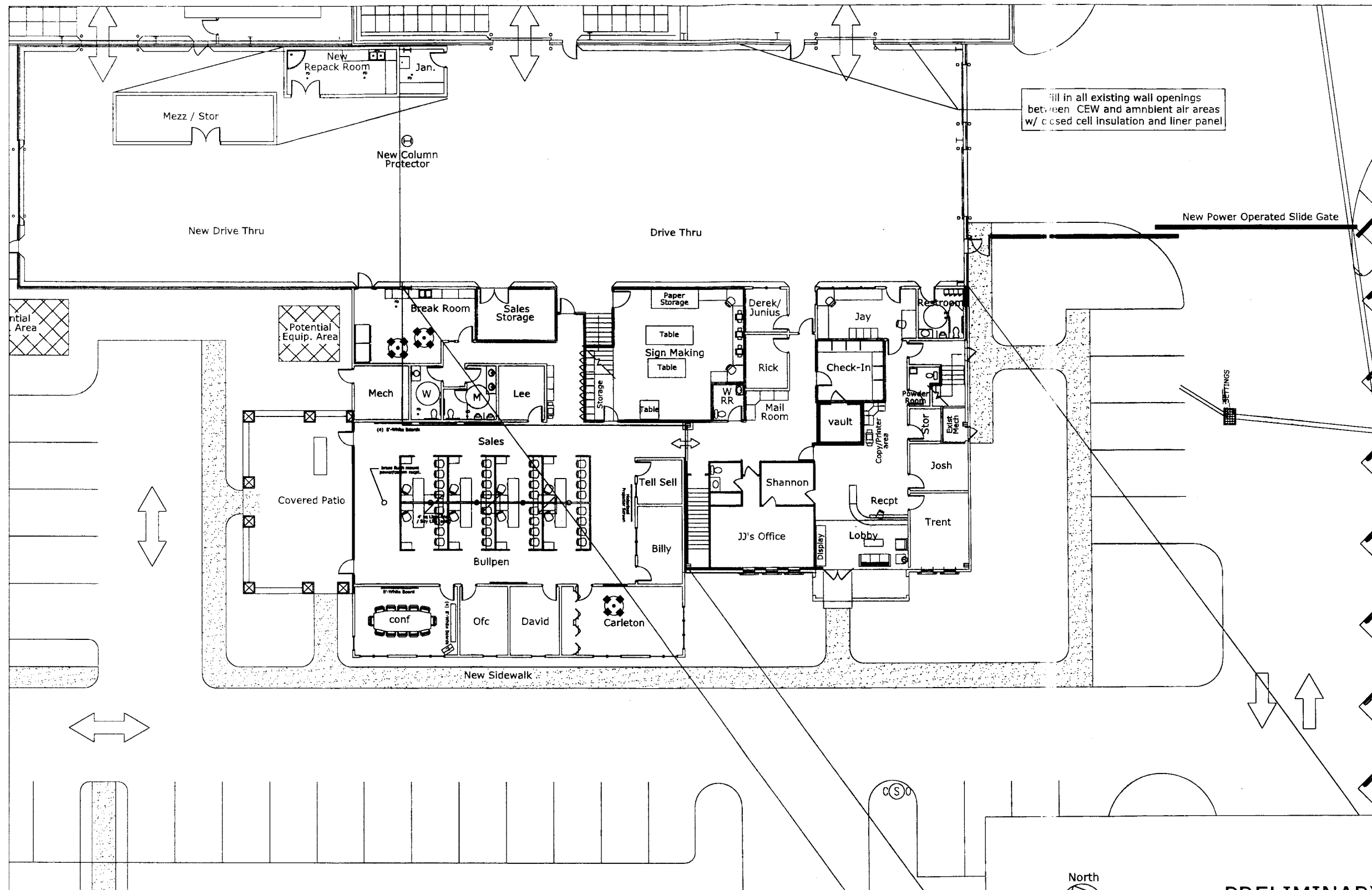
SCALE
 1" = 30'-0"

Drawn By
 MLF

DWG. NAME:

Site Plan

Conceptual Office Layout



AAC Inc.
 1000 Poydras Street
 Suite 2000
 New Orleans, LA 70112
 Phone: (504) 581-1100
 Fax: (504) 581-1101
 www.aac.com



Buquet Distributing Co, Inc.
 Houma, LA 70631



DATE
 Feb, 2009
 SCALE
 1" = 30'-0"
 Drawn By
 MLF

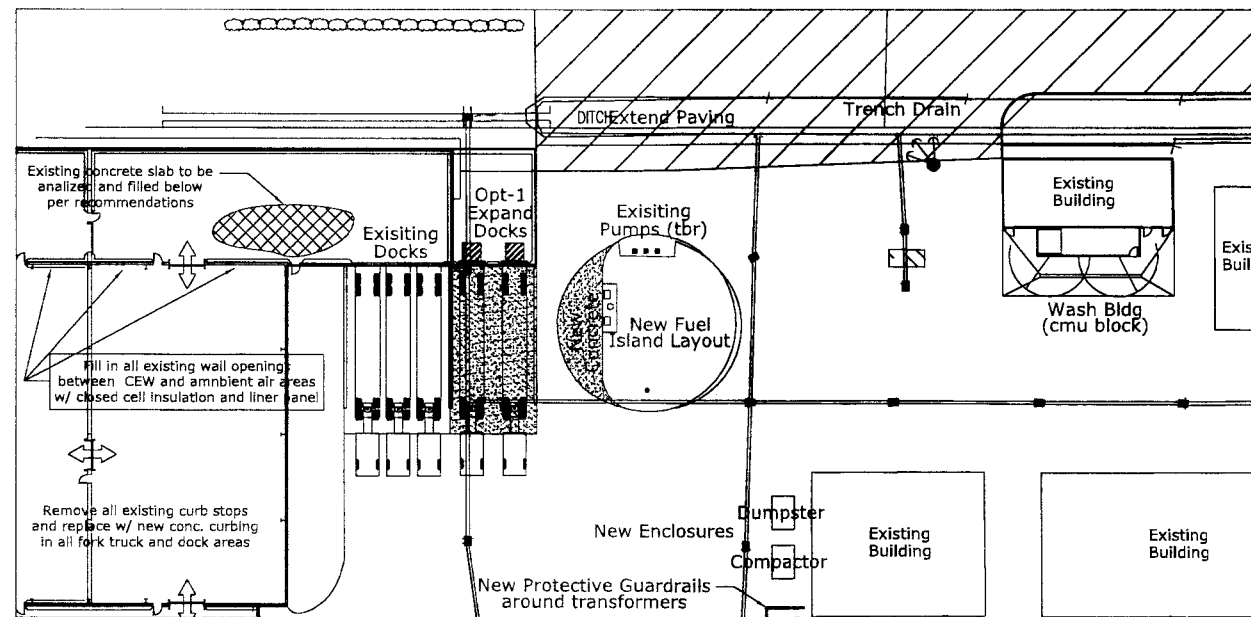
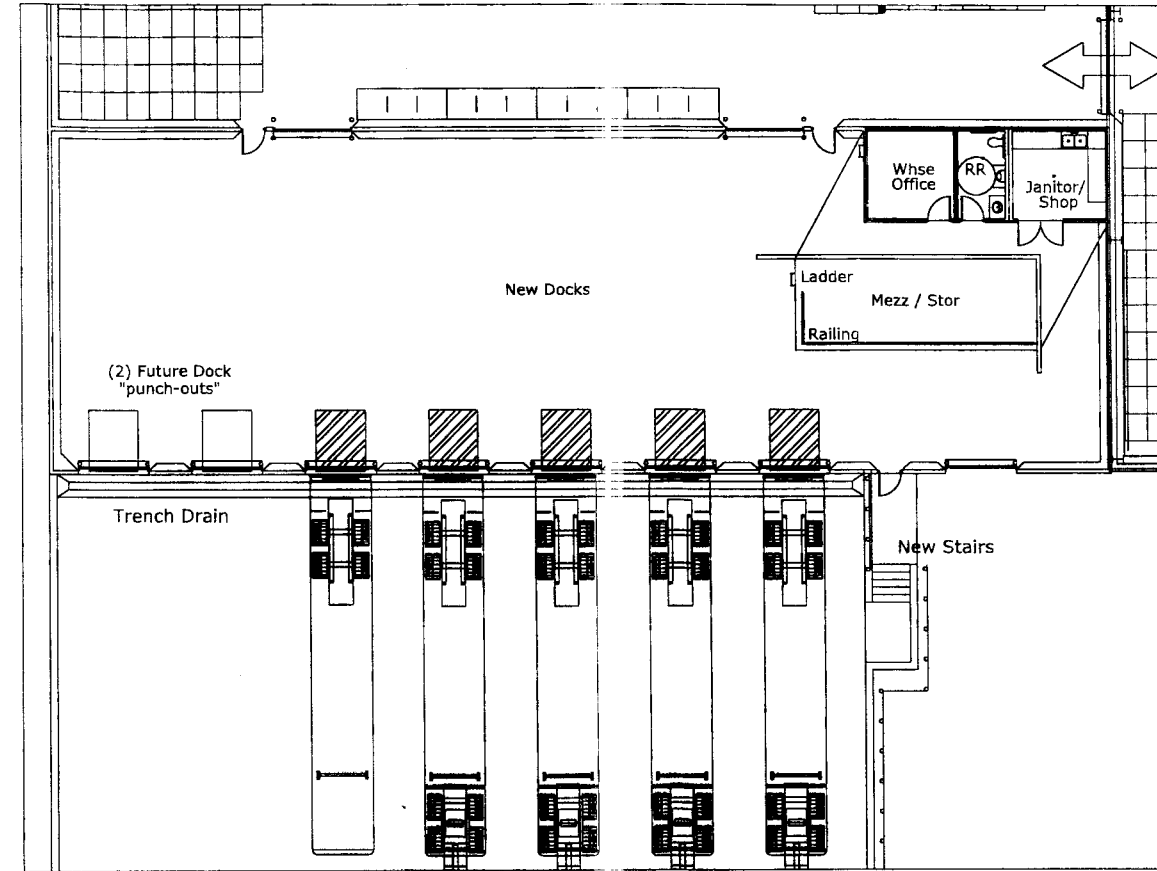
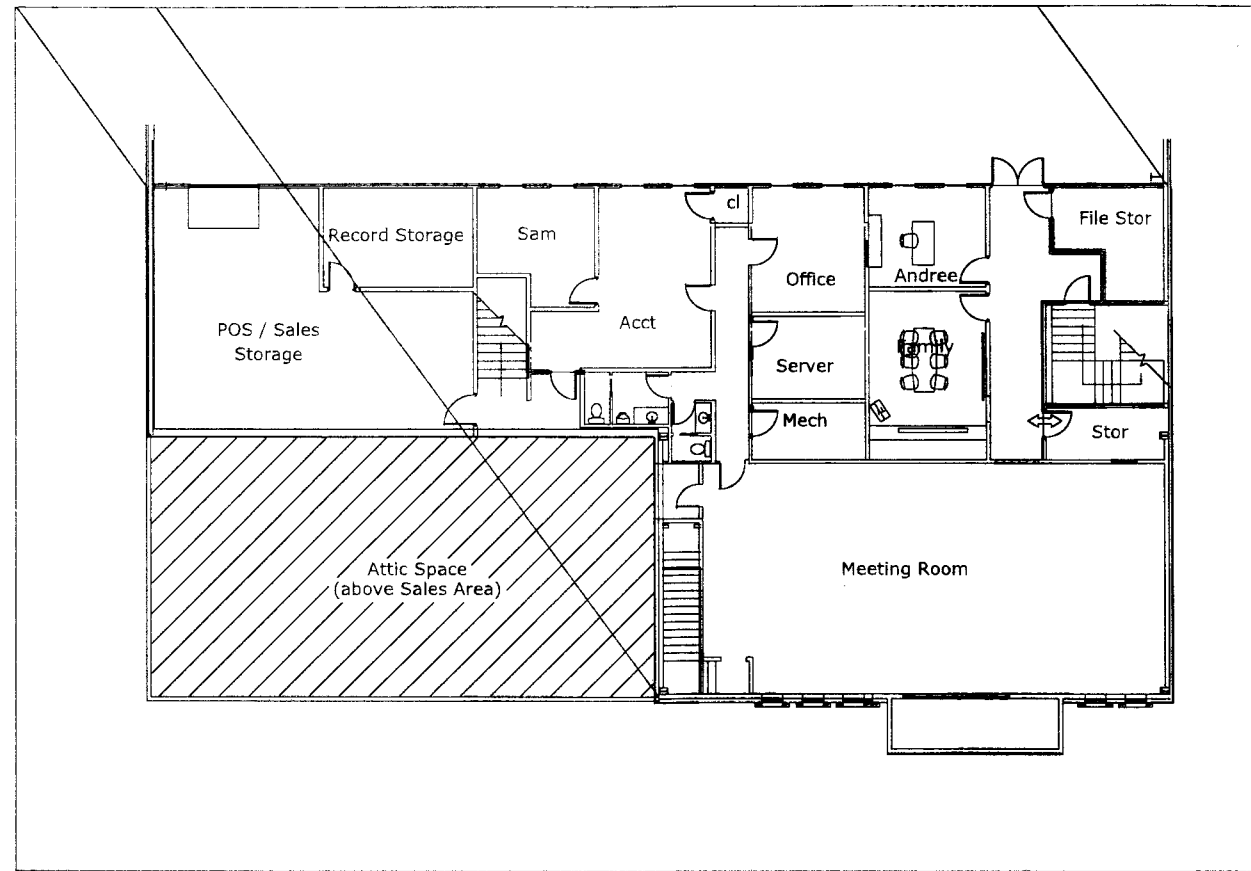
DWG. NAME:

Ofc. 1
 Plan



PRELIMINARY
 NOTE: THIS DRAWING IS NOT FOR CONSTRUCTION

Conceptual Enlarged Plans



AACI Inc.
 10000 Highway 101
 Houma, LA 70631
 Phone: 866.337.1949
 Fax: 866.337.1201
 www.aaci.com



Buquet Distributing Co, Inc.
 Houma, LA 70631



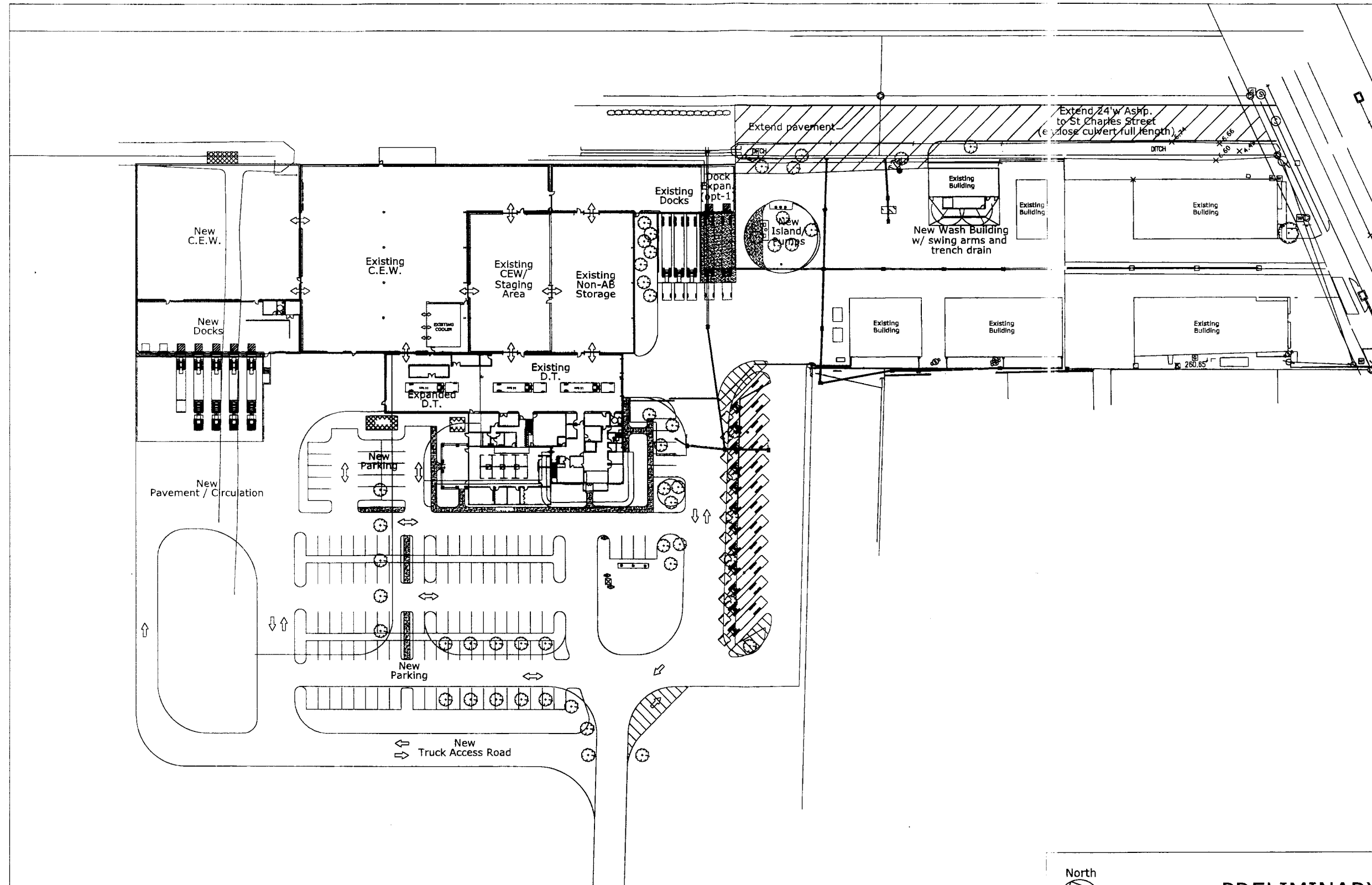
DATE
 Feb, 2009
 SCALE
 N.T.S.
 Drawn By
 MLF
 DWG. NAME:

Lrg.
 Plans



PRELIMINARY
 NOTE: THIS DRAWING IS NOT FOR CONSTRUCTION

Overall Conceptual Site Plan



North

PRELIMINARY

NOTE: THIS DRAWING IS NOT FOR CONSTRUCTION

AAC Inc.
 1000 Highway 101
 Houma, LA 70331
 P: 855.355.1234
 F: 901.304.1234
 www.aacinc.com



WHOLESALE FACILITIES PLANNING

Buquet Distributing Co, Inc.
 Houma, LA 70631



DATE
 Feb, 2009
 SCALE
 1" = 40'-0"
 Drawn By
 MLF

DWG. NAME:

Site Plan

MINUTES

HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION (HTRPC)

MEETING OF MARCH 19, 2009

- A. The Chairman, Daniel Babin, called to order the regular meeting of March 19, 2009 of the Houma-Terrebonne Regional Planning Commission (HTRPC) at 7:05 p.m. in the Terrebonne Parish Council Meeting Room with the Invocation led by Dr. Budd Cloutier and the Pledge of Allegiance led by Mr. Richard Elfert.
- B. Upon Roll Call, present were: Beryl Amedée; Daniel Babin, Chairman; L. Arnold "Budd" Cloutier, Vice-Chairman; Richard Elfert; James Erny; Keith Kurtz; John Navy; Alex Ostheimer; and Marsha Williams, Secretary/Treasurer. Absent at the time of Roll Call were: None. Also present were Pat Gordon, Director, and Jennifer Robinson, Senior Planner, Department of Planning and Zoning and Laddie Freeman, Legal Advisor.
- C. ACCEPTANCE OF MINUTES:
1. Dr. Cloutier moved, seconded by Mr. Navy: "THAT the HTRPC accept the minutes, as written, for the Regional Planning Commission for the regular meeting of February 19, 2009 and for the special meeting of March 4, 2009."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.
 2. Dr. Cloutier moved, seconded by Ms. Williams: "THAT the HTRPC accept the minutes, as written, for the Zoning & Land Use Commission for the regular meeting of February 19, 2009."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.
- D. Ms. Williams moved, seconded by Dr. Cloutier: "THAT the HTRPC emit payment for the March 19, 2009 invoices, approve the Treasurer's Report of February 2009, and the proposed 2009 budget."
1. Mr. Ostheimer requested the budget be amended to include \$4,000.00 for travel and training due to members attending the national planning conference in April.
 2. MOTION AS AMENDED: Ms. Williams moved, seconded by Dr. Cloutier: "THAT the HTRPC emit payment for the March 19, 2009 invoices, approve the Treasurer's Report of February 2009, and the revised proposed 2009 budget to include \$4,000.00 for travel and training."

The Chairman called for a vote on the motion offered by Ms. Williams. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.
- E. COMMUNICATIONS:
1. Mr. Gordon read a letter from David A. Waitz Engineering and Surveying, Inc. dated March 19, 2009 requesting the application by South Hollywood Properties #1, L.L.C. be tabled until the next meeting of April 23, 2009 [See *ATTACHMENT A*].
 - a) Mr. Ostheimer moved, seconded by Mr. Navy: "THAT the HTRPC table item H3 until the next regular meeting of April 23, 2009 as per the request of the developer."

The Chairman called for a vote on the motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

The Chairman recognized Councilman Kevin Voisin in the audience at this time.

F. OLD BUSINESS:

Dr. Cloutier moved, seconded by Ms. Williams: "THAT the HTRPC remove Item F1 from the table to be considered at this time."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

1. The Chairman stated the next item on the agenda under old business was an application by Harold J. Callahan requesting approval for Process D, Minor Subdivision for the Division of Tract 13 belonging to Harold Callahan of the Leo Joseph Callahan Estate into Tracts H.C.1 and H.C.2.

- a) Mr. Brian Brunet, Leonard Chauvin P.E., P.L.S., Inc., representing Mr. Callahan, discussed the location and division of property. He requested a variance from the fire hydrant requirement.
- b) The Chairman recognized Mr. Callahan who stated he had to divide his property from a leased portion in order to get a homeowner's loan for the completed construction of his home. He requested a variance from the fire hydrant due to added costs and stated the Fire Chief in the area has concurred with his request.
- c) Mr. Gordon read a letter from Leonard Chauvin P.E., P.L.S., Inc. dated February 18, 2009 with a signature from Schriever Fire Chief Ken Pitre concurring with Mr. Callahan's request [See ATTACHMENT B]. He also read a letter from Schriever Fire Chief Ken Pitre approving Mr. Callahan's request [See ATTACHMENT C]. Mr. Gordon also stated he received a phone call from the Councilperson in that area approving the same.
- d) Mr. Gordon stated Staff recommended conditional approval provided upon the installation of a fire hydrant and submittal of drainage calculations to the Terrebonne Parish Engineering Division for review and/or approval. He did suggest that the land be designated as raw land due to the existing home and nothing else to be built as another option.
- e) Discussion was held with regard to setting precedence if varying from the fire hydrant, financial hardships not being a reason to grant a variance, and Mr. Callahan's options should the Commission deny or conditionally approve his request.
- f) Dr. Cloutier moved, seconded by Mr. Erny: "THAT the HTRPC grant approval of the application for Process D, Minor Subdivision for the Division of Tract 13 belonging to Harold Callahan of the Leo Joseph Callahan Estate into Tracts H.C.1 and H.C.2 conditioned upon the installation of a fire hydrant and submittal of drainage calculations to the Terrebonne Parish Engineering Division for review and/or approval."
- g) Discussion was held with regard to an adjacent property owner possibly receiving a variance for a fire hydrant and the fire hydrant spacing requirements that have changed in the last few years. Discussion ensued with regard to Mr. Callahan accepting the conditions and other options for the division of property.

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin and Mr. Elfert; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

G. NEW BUSINESS:

1. The Chairman stated the next item on the agenda under new business was a request for a plan change by Jon Gonsoulin for the Dedication of Hanna Clair Drive, Phase "M" of Mulberry Estates Subdivision, Section 104, T17S-R18E, Terrebonne Parish, Louisiana.

- a) Mr. Ken Rembert, Keneth L. Rembert Land Surveyors, discussed the location and request by Mr. Gonsoulin for the dedication of Hanna Clair Drive due to his purchasing the entire phase of the subdivision.
- b) Mr. Gordon discussed the Staff Report and stated Staff recommended the matter be submitted to the Parish Council for the approval of an ordinance to revoke the dedication of Hanna Clair Drive.

- c) Discussion was held with regard to the street becoming Mr. Gonsoulin's driveway and the lots to be dissolved.
- d) Mr. Ostheimer moved, seconded by Mr. Erny: "THAT the HTRPC grant approval and recommend to the Parish Council that they have no objection to the request to dededicate Hanna Clair Drive, Phase 'M' of Mulberry Estates Subdivision conditioned the lots are dissolved and the street be converted to a private driveway."
- e) The Chairman recognized Councilman Kevin Voisin who approved of Mr. Gonsoulin's request and requested the lots be dissolved into one tract of land.
- f) Mr. Gordon stated a new plat would be signed with a new legal description.

The Chairman called for a vote on the motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

H. APPLICATIONS:

- 1. The Chairman called to order the Public Hearing for an application by Randy Piazza requesting approval for Process D, Minor Subdivision for the Survey of Lot 9-A & 9-B, A Redivision of Lot 9, Block 4, Addendum No. 1 to Grand Caillou Heights Subdivision.

- a) Mr. Ken Rembert, Keneth L. Rembert Land Surveyors, discussed the location and division of property.
- b) No one was present from the public to speak.
- c) Dr. Cloutier moved, seconded by Ms. Williams: "THAT the Public Hearing be closed."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE PUBLIC HEARING CLOSED.

- d) Mr. Gordon discussed the Staff Report and stated Staff recommended conditional approval provided drainage arrows were depicted on the plat and drainage calculations be submitted to the Terrebonne Parish Engineering Division for review and/or approval.
- e) Mr. Elfert moved, seconded by Mr. Erny: "THAT the HTRPC grant approval to the application for Process D, Minor Subdivision for the Survey of Lot 9-A & 9-B, A Redivision of Lot 9, Block 4, Addendum No. 1 to Grand Caillou Heights Subdivision as per Staff 's recommendations; conditioned that drainage arrows are depicted on the plat and drainage calculations are submitted to the Terrebonne Parish Engineering Division for review and/or approval."
- f) Discussion was held with regard to Mr. Piazza proposing to build a home on each of the lots.

The Chairman called for a vote on the motion offered by Mr. Elfert. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- 2. The Chairman called to order the Public Hearing for an application by Todd J. Ledet requesting approval for Process D, Minor Subdivision for Emerald Oaks, Survey of Tracts "A", "B", & "C", A Redivision of Property belonging to Todd J. Ledet, et ux.

- a) Mr. Ken Rembert, Keneth L. Rembert Land Surveyors, discussed the location and division of property.
- b) No one was present from the public to speak.
- c) Dr. Cloutier moved, seconded by Ms. Williams and Mr. Erny: "THAT the Public Hearing be closed."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE PUBLIC HEARING CLOSED.

- d) Mr. Gordon discussed the Staff Report and stated Staff recommended conditional approval provided drainage calculations were submitted to the Terrebonne Parish Engineering Division for review and/or approval.
- e) Discussion was held with regard to the batture
- f) Mr. Elfert moved, seconded by Dr. Cloutier: “THAT the HTRPC grant approval to the application for Process D, Minor Subdivision for Emerald Oaks, Survey of Tracts “A”, “B”, & “C”, A Redivision of Property belonging to Todd J. Ledet, et ux. Conditioned upon the installation of a fire hydrant that meets parish requirements, approval from the Board of Health, drainage calculations submitted to the Terrebonne Parish Engineering Division for review and/or approval, and that a landhook be shown between the batture and the property Mr. Ledet intends to keep.”

The Chairman called for a vote on the motion offered by Mr. Elfert. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

- 3. WITHDRAWN, Hollygrove, Conceptual and Preliminary [See *ATTACHMENT A*]
- 4. The Chairman stated the next item on the agenda was an application by Development Ventures, L.L.C. requesting final approval for Process C, Major Subdivision for Sugarland Subdivision, Addendum No. 4.
 - a) Ms. Joan Schexnayder, Terrebonne Parish Engineering Division, read a memo concerning the punch list items for the development [See *ATTACHMENT D*].
 - b) Mr. Gene Milford, Milford & Associates, Inc., representing the Developer, stated they would comply/resolve punch list items 1, 2, and 4 and requested that the street lights be installed once Entergy provides power (punch list item 3).
 - c) Discussion was held with regard to accepting a bond for the street lights along with an acceptable amount and time limit for completion of the same.
 - d) Mr. Ostheimer moved, seconded by Mr. Kurtz: “THAT the HTRPC grant final approval for Process C, Major Subdivision for Sugarland Subdivision, Addendum No. 4 with the acceptance of a bond in the amount of \$2,000.00 for punch list item 3 and conditioned upon the Developer complying/resolving with punch list items 1, 2, & 4 per the Terrebonne Parish Engineering Division's memo dated March 19, 2009 [See *ATTACHMENT D*] and allow (60) days for completion.”
 - e) Discussion was held with regard to the time limit and if it were enough time to for Entergy to provide power.

The Chairman called for a vote on the motion offered by Mr. Ostheimer. THERE WAS RECORDED: YEAS: Ms. Amedée, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin and Dr. Cloutier; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

I. STAFF REPORT:

- 1. Gordon stated that they have signed the contract with Providence Engineering for the update to the Comprehensive Plan. Mr. Gordon requested that they discuss the 2008 HTRPC annual report and ratification of the same at the next meeting in order to finalize the report.

J. Dr. Cloutier moved, seconded by Ms. Williams: “THAT the HTRPC acknowledge for the record the following Administrative Approvals 1-6.”

- 1. Redivision of Tract B along Hwy. 24 within the Evergreen Plantation, Section 1, T16S-R16E, Terrebonne Parish, LA
- 2. Survey of Revised Lots 9 thru 12, Block 1, Terra Cane Heights Subdivision, Addendum No. 2, Section 104, T17S-R17E, Terrebonne Parish, LA

3. Survey & Resubdivision of Lots 4 & 5, Block 5 into Lots 4-A & 5-A, Block 5, Myrtle Grove Heights Subdivision, Section 9, T17S-R17E, Sections 1 & 2, T17S-R18E, Terrebonne Parish, LA
4. Survey of Revised Ltracts 5 & 6 and Tract 7, Property belonging to Dean M. Hutchinson, et ux, Section 24, T17S-R18E, Terrebonne Parish, LA
5. Survey of Revised Tracts "A" & "B" being a portion of Lots 90, 91, & 92, Honduras Plantation Subdivision, Section 105, T17S-R17E, Terrebonne Parish, LA
6. Survey of Revised Tracts 17 & 18 of Reeves Campsites, Section 92, T20S-R18E, Terrebonne Parish, LA

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

K. COMMITTEE REPORTS:

1. Dr. Cloutier stated there were four (4) proposals prepared in ordinance form that was supplied in the members' packets with regard to the subdivision regulations.
 - a) Dr. Cloutier read the proposal with regard to lot development on right-of-ways [See *ATTACHMENT E*].
 - (1) Discussion was held with regard to the proposal.
 - (2) Mr. Gordon suggested a public hearing be called on all proposals approved by the Planning Commission. Discussion ensued with regard to the matters being forwarded to the Parish Council afterward for their review and/or approval.
 - b) Dr. Cloutier read the proposal with regard to altering drainage plans after development is completed [See *ATTACHMENT F*].
 - (1) Discussion was held with regard to the proposal
 - c) Dr. Cloutier read the proposal with regard to a lapse between conceptual/preliminary approval(s) and engineering approval [See *ATTACHMENT G*].
 - (1) Discussion was held with regard to the proposal.
 - d) Dr. Cloutier read the proposal with regard to access to major subdivisions [See *ATTACHMENT H*].
 - (1) Discussion was held with regard to the proposal and widening the street rather than requiring a boulevard due to maintenance of the same. Discussion ensued with regard to including the definition of a boulevard within the regulations.

Dr. Cloutier moved, seconded by Mr. Erny: "THAT the HTRPC call a public hearing for amendments to the subdivision regulations with regard to lot development on right-of-ways, altering drainage plan after development is completed, lapse between conceptual/preliminary approval(s) and engineering approval, and access to major subdivisions for Thursday, April 23, 2009 at 6:00 p.m."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

2. Mr. Gordon covered the status of the Comprehensive Master Plan Update under Staff Reports.

L. COMMISSION COMMENTS:

1. CHAIRMAN'S COMMENTS:
 - a) The Chairman, after Ms. Williams, applauded the Subdivision Regulations Review Committee with regard to their efforts.

2. PLANNING COMMISSIONERS' COMMENTS:

- a) Mr. Ostheimer inquired something he read in the paper with regard to expanding the master transportation plan, sewer, etc. He also mentioned a meeting to be held with the developers regarding development.
 - (1) Mr. Gordon stated a town meeting will be held with regard to development regulations in general in Terrebonne Parish by Administration and a date is to be announced and all Planning Commission members will be notified along with everyone on our mailing list.
 - (2) Councilman Kevin Voisin stated their direction was to have a "think tank" meeting and nothing to do against Planning Commission or the way things were being handled.

L. PUBLIC COMMENTS: None.

M. Dr. Cloutier moved, seconded by Ms. Williams: "THAT there being no further business to come before the Houma-Terrebonne Regional Planning Commission, the meeting be adjourned at 8:41 p.m."

The Chairman called for a vote on the motion offered by Dr. Cloutier. THERE WAS RECORDED: YEAS: Ms. Amedée, Dr. Cloutier, Mr. Elfert, Mr. Erny, Mr. Kurtz, Mr. Navy, Mr. Ostheimer, and Ms. Williams; NAYS: None; ABSTAINING: Mr. Babin; ABSENT: None. THE CHAIRMAN DECLARED THE MOTION ADOPTED.

*Becky M. Becnel, Minute Clerk
Houma-Terrebonne Regional Planning Commission*

DAVID A. WAITZ ENGINEERING AND SURVEYING, INC.

Civil Engineers & Professional Land Surveyors

1107 Canal Blvd.

P.O. Box 1203

Thibodaux, Louisiana 70302

David A. Waitz, P.E., P.L.S.

(985) 447-4017 (phone) (985) 447-1998 (fax)

March 19, 2009

Houma-Terrebonne Regional
Planning Commission
P. O. Box 1446
Houma, LA 70361-1446

Attention: Ms. Becky Bechel,
Secretary/Planning Commission

RE: REQUEST FOR PROJECT TO BE REMOVED FROM THE AGENDA OF THE PLANNING COMMISSION MEETING SCHEDULED FOR MARCH 19, 2009 – HOLLYGROVE (SUBDIVISION) LOCATED IN SECTION 104, T17S-R17E, TERREBONNE PARISH, LOUISIANA – DEVELOPER: SOUTH HOLLYWOOD PROPERTIES, #1, L.L.C. - ENGINEER'S PROJECT NO. 2009-009

Dear Becky:

The purpose of this correspondence is to request that the Subdivision Application submitted for Hollygrove Subdivision be deferred from the Agenda of the meeting scheduled for tonight, Thursday, March 19, 2009 and rescheduled to the next meeting date of April 23, 2009. We apologize for this inconvenience, however this deferral is necessary in order for preparation of a Master Plan for this proposed development.

Thank you in advance for your cooperation and assistance in this matter. Please advise me if you should have any questions or require additional information.

Sincerely,

DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.



David A. Waitz, P.E., P.L.S.

DAW/dth

Cc: File & Reading File

LEONARD CHAUVIN P.E., P.L.S., INC.
Civil Engineer - Land Surveyor

February 18, 2009

SCHRIEVER VOLUNTEER FIRE DEPARTMENT
ATTN: FIRE CHIEF
P.O. Box 83
SCHRIEVER, LA 70395

**RE: SURVEY SHOWING THE DIVISION OF TRACT 13 BELONGING TO
HAROLD CALLAHAN OF THE LEO JOSEPH CALLAHAN ESTATE INTO
TRACTS H.C. 1 AND H.C. 2 LOCATED IN SECTIONS 101 AND 144, T15S-
R16E, TERREBONNE PARISH, LA**

GENTLEMEN,

We have made application to the Houma-Terrebonne Regional Planning Commission for sketch and final approvals, Process D, for the above referenced subdivision as shown on the attached plat for your review. If the Schriever Fire Department has no objection to this division, please sign the approval line provided below and return one copy for our files and forward one copy to the Planning Commission as soon as possible.

If there are any questions or further information required, please call our office.

Sincerely,



Pam Miranda
Leonard Chauvin P.E., P.L.S., Inc

APPROVED: 

SCHRIEVER FIRE CHIEF

DATE

2/25/09

SCHRIEVER VOLUNTEER FIRE DEPARTMENT, INC.

SCHRIEVER FIRE PROTECTION DISTRICT

P. O. BOX 83

SCHRIEVER, LA 70395

PHONE 985-446-8498, FAX 985-446-3273, CELL 985-865-1643

"ANYTIME - ANYWHERE"

**SCHRIEVER STATION
1529 WEST MAIN ST.**

**GRAY STATION
3120 WEST PARK AVE.**

**HIGHWAY 311 STATION
1988 HWY 311**

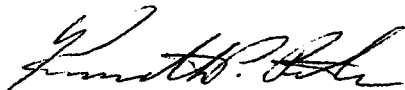
Pam Miranda
Leonard Chauvin P. E., P. L. S., Inc
627 Jackson Street
Thibodaux, LA 70301

Subject: Harold Callahan of the Leo Joseph Callahan Estate

Ms. Miranda;

The Schriever Volunteer Fire Department and the Schriever Fire Protection District does approve the division of Mr. Callahan lot for his resident out of the larger section.

Thank you



Kenneth P. Pitre
Fire Chief



P.O. BOX 6097
HOUMA, LOUISIANA 70361
(985) 868-5050



P.O. BOX 2768
HOUMA, LOUISIANA 70361
(985) 868-3000

**TERREBONNE PARISH
CONSOLIDATED GOVERNMENT**

March 19, 2009
Agenda Item # H4

TO: Pat Gordon

**FROM: Gregory E. Bush, LTC, USA, Retired
Director of Public Works**

**SUBJECT: Sugarland Subdivision, Add No 4;
Final Inspection**

A final inspection of the above referenced subdivision was held by representatives of the Department of Public Works. The following punch list items remain and need to be addressed:

1. The Final Plat should be signed and stamped by a Professional Land Surveyor.
2. The Final Plat should show the date, elevation, and 3 point ties of the benchmark.
3. Street lights must be installed.
4. Final Approval from waterworks is required.

Please feel free to contact Joan Schexnayder at 873-6720 if you have any questions or comments.

cc: Planning Commission
F. E. Milford, III, P.E.
Engineering Division
✓ Reading File

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Lot development on right-of-ways

Item 21 Lot development on right-of-ways

Issue:

The Planning Commission has long held that residential lots need to front on a public street or a private street built to public standards. With very little exception, the fire hydrant spacing regulations with the accompanying 8" waterline requirement has maintained this policy. The existing regulations; however, still allow residential lots to front on right-of-ways.

Proposal:

24.7.1.2.4 Minimum Residential Lot Size (pg. 34)

Revise 2nd sentence to read as follows:

“However, all lots must front along a public roadway or private roadway built to public standards ~~or servitude of passage~~ and shall contain adequate frontage and depth to enclose four 50-foot sides at 90° angles to each other, none of which may encroach upon a public road right-of-way or access servitude to adjacent property.”

24.7.1.5 Residential Lot Frontage (Access) (pg. 37)

Revise 2nd sentence to read as follows:

“All residential units must have as its primary means of access either a publicly dedicated street, alley, or on a non-publicly dedicated private street built to public standards ~~passageway~~ for vehicular traffic.”

March 11, 2009

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Altering drainage plan after development is completed

Item 19 Altering drainage plan after development

Issue:

Thousands of dollars are spent designing, approving, and inspecting drainage systems for new developments but apparently no prohibition exist on changing the designs after the subdivision receives final approval.

Proposal:

24.2 General (pg. 1)

Add sentence after 3rd paragraph to read as follows:

“It shall constitute a violation of this ordinance for anyone to alter a subdivision drainage plan constructed with Planning Commission review and approval without a letter of ‘no adverse effect’ from the Department of Public Works Engineering Division, a copy of which shall be forwarded to the Houma-Terrebonne Regional Planning Commission for inclusion in the respective subdivision file.”

March 11, 2009

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Lapse between Conceptual/Preliminary Approval(s) and Engineering Approval

Item 13 Requirement of at least one meeting period between conceptual/preliminary approval(s) and engineering approval

Issue:

From a time standpoint, there should be time between the conceptual/preliminary approval(s) and engineering approval meetings so that:

1. If there are any substantial revisions to the conceptual/preliminary plan(s), there will be time for these to be submitted and approved before moving onto the next phase of approval;
2. The public will be able to view and respond to any revised conceptual/preliminary plan(s) in an open forum;
3. The public may miss the process if conceptual/preliminary and engineering is held in the same meeting therefore not being properly informed about the process or allowed to participate in the process; and
4. It will give the commissioners adequate time to evaluate each plan and respond accordingly.

Proposal:

24.5.3.3 Process C: Engineering Approval (pg. 17)

Add sentence between the 1st and 2nd sentence to read as follows:

“The purpose of the engineering approval phase is to consider the engineering plans of the proposed subdivision. The engineering approval process cannot be requested at the same meeting that the conceptual/preliminary is submitted for approval. The prerequisites of the Engineering Plan are listed in Section 24.5.4.5.”

March 11, 2009

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Access to major subdivisions

Item 11 Proper access to subdivisions (ingress/egress)

Issue:

From a point of public safety and the care of the health and welfare of citizens of Terrebonne Parish, major subdivisions of 24 or more lots should have either two streets of public access and egress or a boulevard that continues to the first cross street of the subdivision.

1. On all EMS calls, the National Fire Protection Association (NFPA) 1710 (standard for the Organization and Deployment of Fire Suppression Operations, Emergency Medical Operations, and Special Operations to the Public by Career Fire Departments) establishes a turnout time of one minute, and four minutes or less, for the arrival of a unit with first responder or higher level capabilities at an emergency medical incident. This objective should be met 90% of the time.
2. The American Heart Association's scientific position is that brain death and permanent death start to occur in 4 to 6 minutes after someone experiences cardiac arrest. Cardiac arrest can be reversible if treated within a few minutes with an electric shock and advanced life support intervention to restore a normal heartbeat. Verifying this standard are studies showing that a victim's chances of survival are reduced by 7% to 10% with every minute that passes without defibrillation and advanced life support intervention. Few attempts at resuscitation succeed after 10 minutes.
3. The boston.com news show that property damage from a fire rises from \$20,000+ with a less than 3 minute arrival to greater than \$60,000 loss with an arrival time of over 9 minutes.

Proposal:

24.7.1.1.1 Streets (Urban Service District & Urban Planning Area) (pg. 32)

Add sentence after the end of the 1st paragraph to read as follows:

“All major subdivisions of greater than 24 lots shall have either two public streets of access and egress or a boulevard that continues to the first cross street of the subdivision.”

24.7.1.2.1 Streets (Rural Residential) (pg. 33)

Add sentence after the end of the 1st paragraph to read as follows:

“All major subdivisions of greater than 24 lots shall have either two public streets of access and egress or a boulevard that continues to the first cross street of the subdivision.”

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 – Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. _____ Raw Land
_____ Re-Subdivision
- B. _____ Mobile Home Park
- C. X Major Subdivision
_____ X Conceptual
_____ X Preliminary
_____ Engineering
_____ Final
- D. _____ Minor Subdivision

_____ Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: HOLLYGROVE
- Developer's Name & Address: SOUTH HOLLYWOOD PROPERTIES, #1, L.L.C.
*Owner's Name & Address: SOUTH HOLLYWOOD PROPERTIES, #1, L.L.C.
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: DAVID A. WAITZ ENGINEERING & SURVEYING, INC.

SITE INFORMATION:

- Physical Address: BEAUREGARD STREET, HOUMA, LA
- Location by Section, Township, Range: SECTION 104, T17S-R17E
- Purpose of Development: DIVISION OF PROPERTY FOR RESIDENTIAL USE
- Land Use:
 X Single-Family Residential
_____ Multi-Family Residential
_____ Commercial
_____ Industrial
- Sewerage Type:
 XX Community
_____ Individual Treatment
_____ Package Plant
_____ Other
- Drainage:
_____ Curb & Gutter
 X Roadside Open Ditches
 X Rear Lot Open Ditches
_____ Other
- Date and Scale of Map: MARCH 3, 2009 1" = 100'
- Council District: _____
- Number of Lots: 11
- Filing Fees: \$75.00

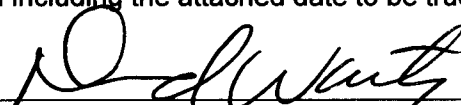
I, DAVID A. WAITZ, AGENT , certify this application including the attached date to be true and correct.

DAVID A. WAITZ, AGENT

Print Applicant or Agent

3/30/09

Date


Signature of Applicant or Agent

The undersigned certifies: _____ 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or _____ 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

TIMOTHY J. THOMPSON, MANAGER

Print Name

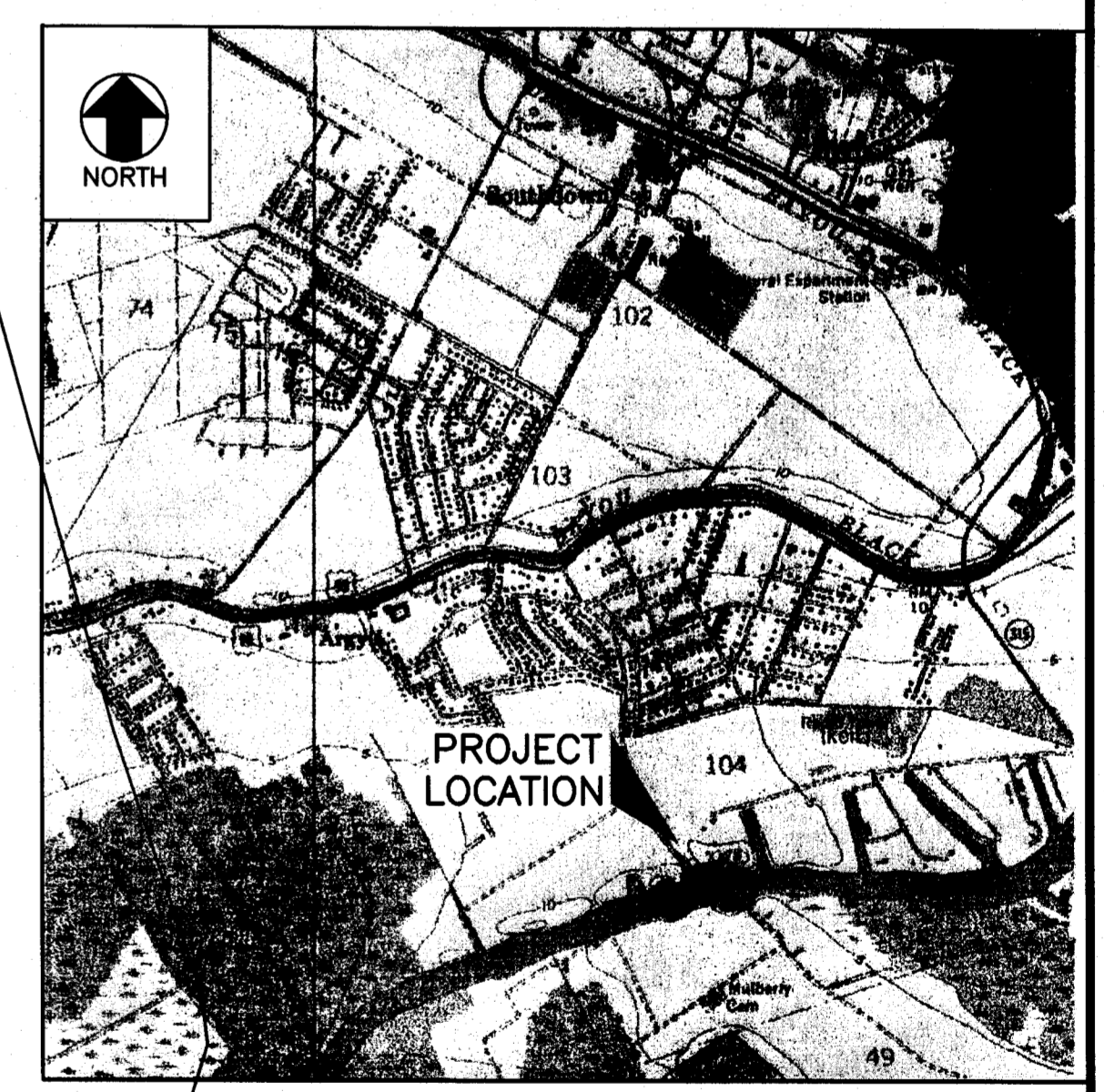

Signature

Revised Appl.

Date

LEGEND

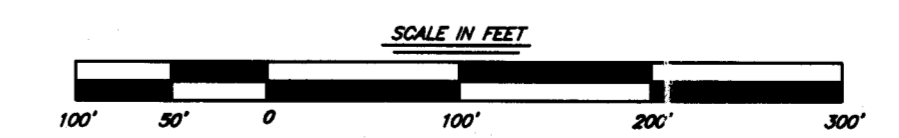
- FOUND PROPERTY MARKER ○
- SET 3/4" I.R. ●
- EXISTING WATER LINE — W —
- EXISTING GAS LINE — G —
- EXISTING SEWER LINE — S —
- EXISTING OVERHEAD POWER LINE — E —
- EXISTING TELEPHONE LINE — T —
- EXISTING FENCE — X —
- EXISTING POWER POLE W/ LIGHT ⚡
- EXISTING POWER POLE ⚡
- EXISTING ANCHOR →
- EXISTING TELEPHONE PEDESTAL □
- EXISTING WATER VALVE ●W
- EXISTING FIRE HYDRANT ⊕
- EXISTING WATER METER ○WM
- EXISTING GAS VALVE ●GV
- EXISTING GAS METER ○GM
- EXISTING SEWER MANHOLE ⊙
- EXISTING CATCH BASIN WITH SUBSURFACE DRAINAGE —■—



VICINITY MAP
SCALE 1" = 2000'

NOTE:
THIS PLAT DOES NOT PURPORT TO SHOW ALL EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES AND/OR PIPELINES THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE ABSTRACT AND TITLE OPINION.

NOTE: THIS IS NOT A BOUNDARY SURVEY. IT IS INTENDED SOLELY TO SHOW LANDS OWNED BY SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.



DATE	DESCRIPTION	BY	REVISION

HOLLYGROVE LOCATED IN SECTION 104, T17S-R17E, TERREBONNE PARISH, LOUISIANA

DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.
Civil Engineers & Professional Land Surveyors
Thibodaux, Louisiana

DESIGNED: DAW	DATE: MARCH 3, 2009	FILE: F:\DWG\2009\09-009\09-009.LAYOUT.DWG	TRACED:
CHECKED: DAW	CHECKED: DAW	CHECKED:	CHECKED:
JOB NO: 09-009			

APPROVED: **PRELIMINARY COPY**
David A. Waitz Reg. No. 4744

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
 Re-Subdivision
- B. Mobile Home Park
- C. Major Subdivision
 Conceptual
 Preliminary
 Engineering
 Final
- D. Minor Subdivision

Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: Survey and Division of property belonging to Matherne Realty
- Developer's Name & Address: Belmere, LP, P.O. Box 6155, Bossier City, Louisiana 71171
*Owner's Name & Address: Matherne Realty Partnership, P.O. Box 763, Houma, Louisiana 70361
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: T. Baker Smith

SITE INFORMATION:

- Physical Address: Enterprise Drive Extension
- Location by Section, Township, Range: Sections 5 & 101, Township 17 South, Range 17 East
- Purpose of Development: Proposed Apartments
- Land Use:
 Single-Family Residential
 Multi-Family Residential
 Commercial
 Industrial
- Sewerage Type:
 Community
 Individual Treatment
 Package Plant
 Other
- Drainage:
 Curb & Gutter
 Roadside Open Ditches
 Rear Lot Open Ditches
 Other
- Date and Scale of Map:
- Council District: Bayou Care Juv Dist.
District 2- Councilwoman Arlanda Williams
- Number of Lots: 2
- Filing Fees: \$125.00 + \$57¹⁵ = \$182¹⁵

I, Robert M. Aiello, certify this application including the attached date to be true and correct.

Robert M. Aiello

Print Applicant or Agent

3-18-09

Date

Robert M. Aiello

Signature of Applicant or Agent

The undersigned certifies: 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Robert M. Aiello

Print Name

3-18-09

Date

Robert M. Aiello

Signature

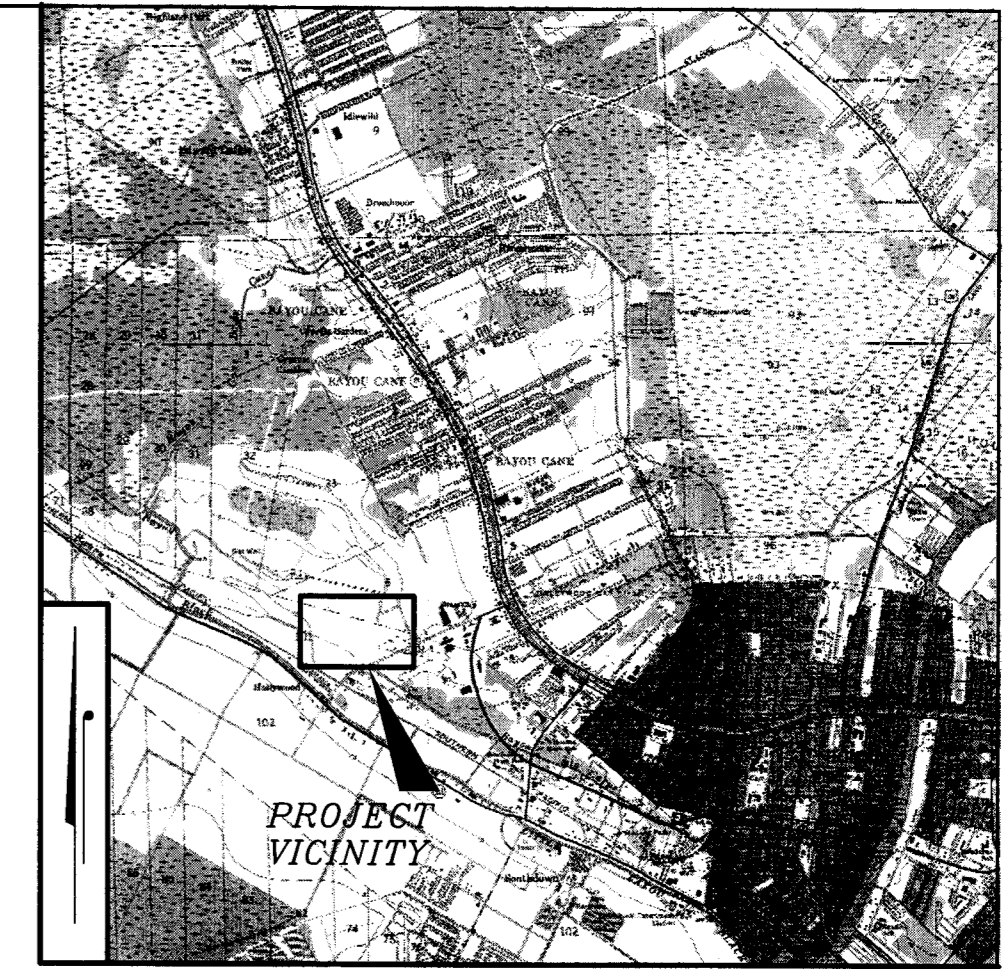
PC09/ 4 - 1 - 21

Record # 22

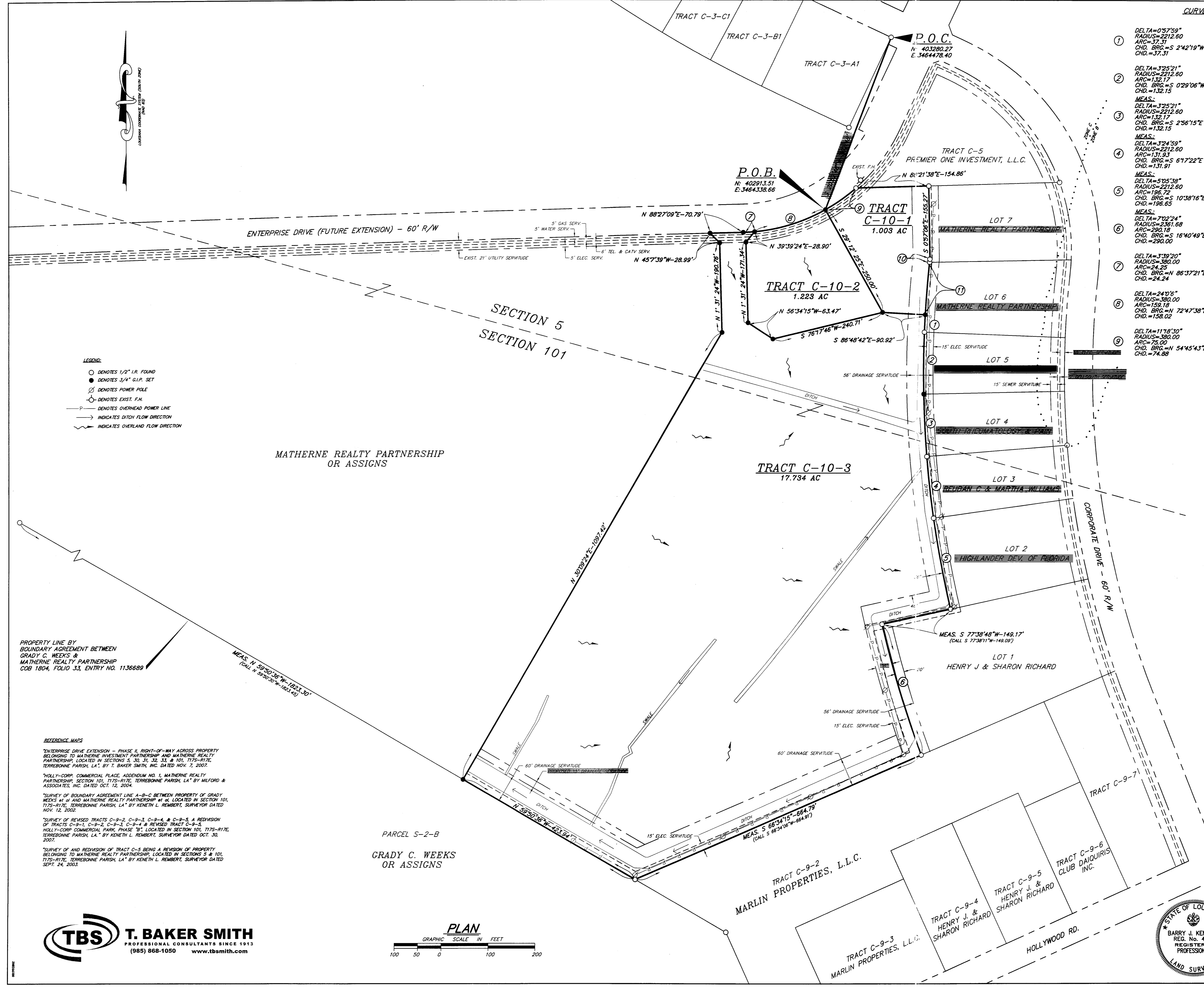


CURVE DATA:

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CHD. BRG.=S 2°42'19"W
CHD.=37.31
- ② DELTA=3°25'21"
RADIUS=2212.60
CHD. BRG.=S 0°29'06"W
CHD.=132.15
- ③ DELTA=3°25'21"
RADIUS=2212.60
CHD. BRG.=S 2°56'15"E
CHD.=132.15
- ④ DELTA=3°24'59"
RADIUS=2212.60
CHD. BRG.=S 6°17'22"E
CHD.=131.91
- ⑤ DELTA=5°05'38"
RADIUS=2212.60
CHD. BRG.=S 10°38'16"E
CHD.=196.65
- ⑥ DELTA=7°02'24"
RADIUS=2361.68
CHD. BRG.=S 16°40'49"E
CHD.=290.00
- ⑦ DELTA=3°39'20"
RADIUS=380.00
CHD. BRG.=N 86°37'21"E
CHD.=24.24
- ⑧ DELTA=24°0'15"
RADIUS=380.00
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CHD.=158.02
- ⑨ DELTA=11°18'30"
RADIUS=380.00
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CHD.=74.88
- ⑩ DELTA=0°10'30"
RADIUS=2212.60
CHD. BRG.=S 5°25'40"W
CHD.=6.76
- ⑪ DELTA=2°54'10"
RADIUS=2212.60
CHD. BRG.=S 4°38'23"W
CHD.=112.08



VICINITY MAP
SCALE: 1"= 5000'



LEGEND:

- DENOTES 1/2" I.R. FOUND
- DENOTES 3/4" G.I.P. SET
- ⊗ DENOTES POWER POLE
- ⊙ DENOTES EXIST. F.M.
- DENOTES OVERHEAD POWER LINE
- INDICATES DITCH FLOW DIRECTION
- ↔ INDICATES OVERLAND FLOW DIRECTION

MATHERNE REALTY PARTNERSHIP
OR ASSIGNS

PARCEL S-2-B
GRADY C. WEEKS
OR ASSIGNS

PROPERTY LINE BY
BOUNDARY AGREEMENT BETWEEN
GRADY C. WEEKS &
MATHERNE REALTY PARTNERSHIP
COB 1804, FOLIO 33, ENTRY NO. 1136689

REFERENCE MAPS

"ENTERPRISE DRIVE EXTENSION - PHASE II, RIGHT-OF-WAY ACROSS PROPERTY BELONGING TO MATHERNE INVESTMENT PARTNERSHIP AND MATHERNE REALTY PARTNERSHIP, LOCATED IN SECTIONS 5, 30, 31, 32, 33, & 101, 117S-R17E, TERREBONNE PARISH, LA," BY T. BAKER SMITH, INC. DATED NOV. 7, 2007.

"HOLLY-CORP. COMMERCIAL PLACE, ADDENDUM NO. 1, MATHERNE REALTY PARTNERSHIP, SECTION 101, 117S-R17E, TERREBONNE PARISH, LA" BY MILFORD & ASSOCIATES, INC. DATED OCT. 12, 2004.

"SURVEY OF BOUNDARY AGREEMENT LINE A-B-C BETWEEN PROPERTY OF GRADY WEEKS #1 AND MATHERNE REALTY PARTNERSHIP #10, LOCATED IN SECTION 101, 117S-R17E, TERREBONNE PARISH, LA" BY KENNETH L. REMBERT, SURVEYOR DATED NOV. 12, 2002.

"SURVEY OF REVISED TRACTS C-9-2, C-9-3, C-9-4, & C-9-5, A REDIVISION OF TRACTS C-9-1, C-9-2, C-9-3, C-9-4 & REVISED TRACT C-9-5, HOLLY-CORP COMMERCIAL PARK, PHASE "B", LOCATED IN SECTION 101, 117S-R17E, TERREBONNE PARISH, LA," BY KENNETH L. REMBERT, SURVEYOR DATED OCT. 30, 2007.

"SURVEY OF AND REDIVISION OF TRACT C-5 BEING A REDIVISION OF PROPERTY BELONGING TO MATHERNE REALTY PARTNERSHIP, LOCATED IN SECTIONS 5 & 101, 117S-R17E, TERREBONNE PARISH, LA" BY KENNETH L. REMBERT, SURVEYOR DATED SEPT. 24, 2003.

APPROVED AND ACCEPTED THIS DATE _____ BY THE
HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.
APPROVED: _____ FOR _____

SURVEY NOTES:

- REFERENCE BEARINGS FOR THIS SURVEY ARE TAKEN FROM MAP ENTITLED "SURVEY OF AND REDIVISION OF TRACT C-5 BEING A REDIVISION OF PROPERTY BELONGING TO MATHERNE REALTY PARTNERSHIP, LOCATED IN SECTIONS 5 & 101, 117S-R17E, TERREBONNE PARISH, LA" BY KENNETH L. REMBERT, SURVEYOR DATED SEPT. 24, 2003.
- THIS SURVEY DOES NOT PURPORT TO SHOW THE LOCATION OF ANY EXISTING SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, RESTRICTIVE COVENANTS, AND/OR REGULATIONS OF GOVERNING AUTHORITIES WHICH MAY AFFECT SAID PROPERTY EXCEPT AS OTHERWISE SHOWN HEREON.
- THIS TRACT IS LOCATED IN ZONE C AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 225208 0A30C, DATED MAY 1, 1985.
- THE HORIZONTAL DATUM FOR THIS SURVEY IS NAD83 (CORR). GRID COORDINATES ARE PROVIDED AS LOUISIANA STATE PLANE, SOUTH ZONE (1702), IN U.S. SURVEY FEET.

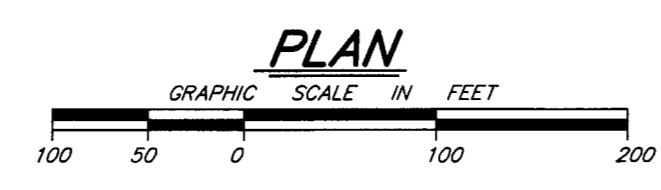
**SURVEY AND DIVISION OF PROPERTY
BELONGING TO
MATHERNE REALTY PARTNERSHIP
LOCATED IN SECTIONS 5 & 101
117S-R17E, TERREBONNE PARISH, LOUISIANA**

LAND USE: COMMERCIAL

FEBRUARY 12, 2009
REV: MARCH 20, 2009
REV: MARCH 25, 2009

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH URBAN AREA SURVEYS INDICATED IN THE ABOVE STANDARDS.

APPROVED: Barry J. Kennedy
BARRY J. KENNEDY
L.A. LAND SURVEYOR REG. NO. 4982



HOUMA-TERREBONNE REGIONAL PLANNING COMMISSION

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
 Re-Subdivision
- B. Mobile Home Park
- C. Major Subdivision
 Conceptual
 Preliminary
 Engineering
 Final
- D. Minor Subdivision

Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: Tracts 6-A thru 6-D, former Burlington Resources
- Developer's Name & Address: Four Sisters Properties, L.L.C. property--Cocodrie, LA
to Blaine Melancon
*Owner's Name & Address: Four Sisters-503 Mary Hughes Dr.--Houma, LA 70363
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: Keneth L. Rembert

SITE INFORMATION:

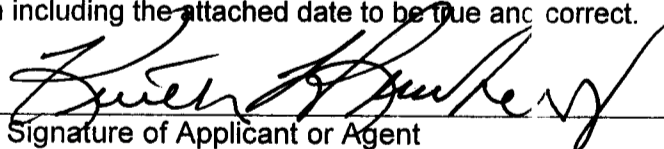
- Physical Address: 8233 Redfish Street Cocodrie, LA
- Location by Section, Township, Range: Sections 84 & 85, T21S-R18E
- Purpose of Development: The Four Sisters want to own each a lot.
- Land Use:
 Single-Family Residential
 Multi-Family Residential
 Commercial
 Industrial
- Sewerage Type:
 Community
 Individual Treatment
 Package Plant
 Other NONE NEEDED
- BOATHOUSE SITES
9. Drainage:
 Curb & Gutter
 Roadside Open Ditches
 Rear Lot Open Ditches
 Other BAYOU AT REAR
- Date and Scale of Map: 3/30/09 Scale: 1"=20'
- Council District: 9-Lambert / Little Caillon Ave
- Number of Lots: 4
- Filing Fees: \$135.50

I, Keneth L. Rembert, certify this application including the attached date to be true and correct.

Keneth L. Rembert
Print Applicant or Agent

3/30/09

Date


Signature of Applicant or Agent

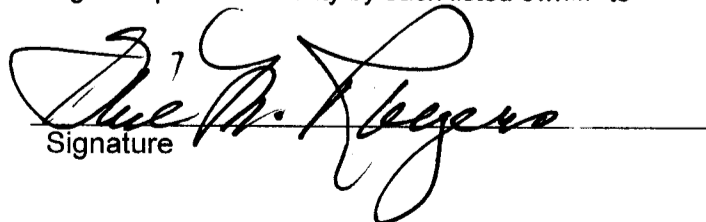
The undersigned certifies: 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Print Name

Date

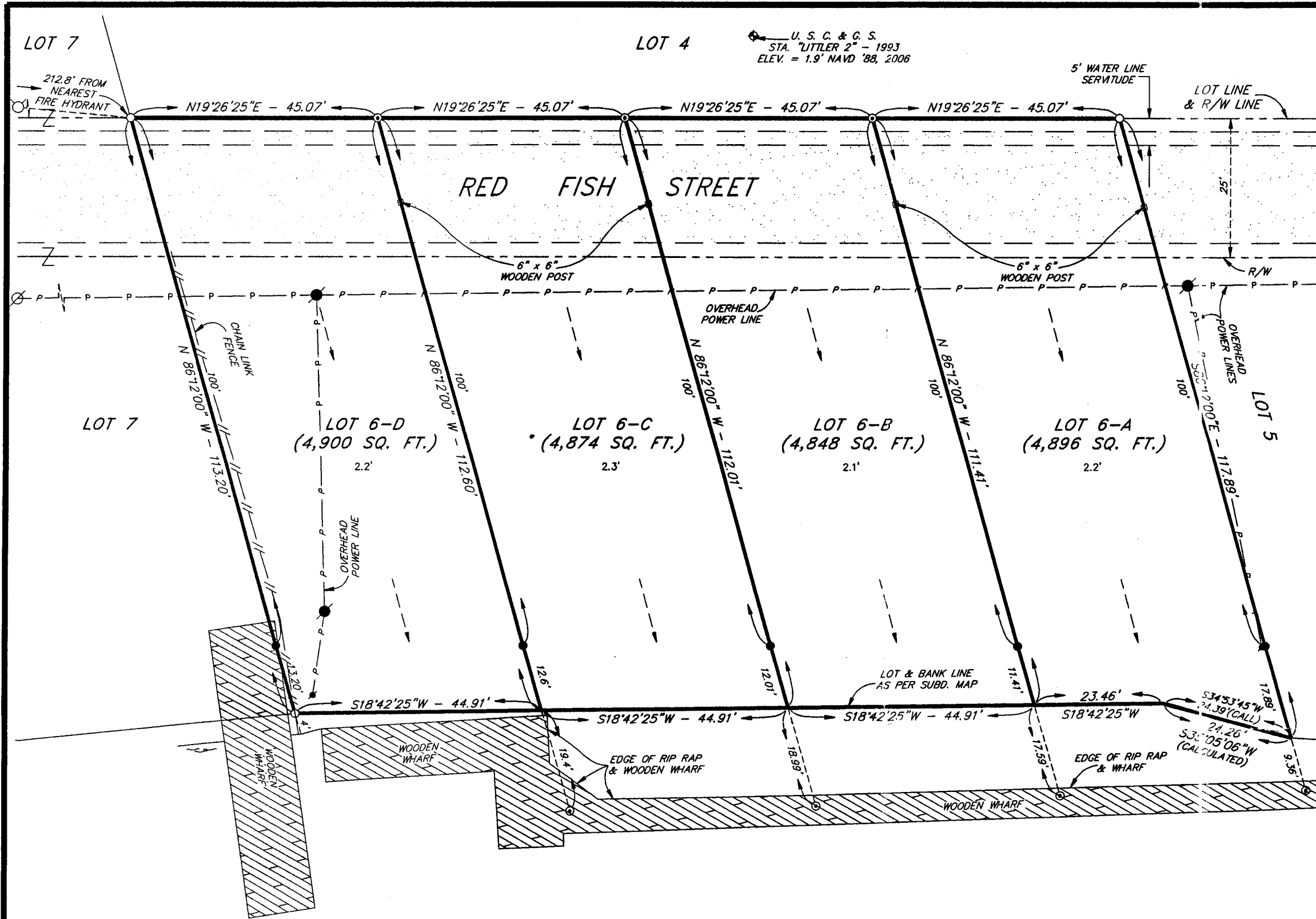
3/30/09

Signature



PC09/ 4 - 2 - 22

Record # 23



VICINITY MAP

BAYOU PETIT CAILLOU

FLCW

APPROVED AND ACCEPTED THIS DATE _____
BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY _____ FOR _____

THESE LOTS ARE FOR MOORING & DOCKING PURPOSES ONLY, SO NO SEWERAGE EFFLUENT SHALL BE DISCHARGED.

THIS PROPERTY DRAINS TO BAYOU TERREBONNE IN THE REAR WHICH NEEDS NO MAINTENANCE. THE OWNERS OF THESE TRACTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.

THIS SURVEY BASED ON MAP RECORDED UNDER ENTRY NO. 1143837 AS FILED IN THE TERREBONNE PARISH CLERK OF COURT OFFICE AND NO ADDITIONAL TITLE RESEARCH WAS MADE BY KENETH L. REMBERT SURVEYORS. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

THESE LOTS ARE LOCATED IN ZONE "V21" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 225206, PANEL NO. 0350, SUFFIX "C", AND DATED MAY 1, 1985. (ZONE "V21" HAS A LOWEST HORIZONTAL BEAM BASE FLOOD REQUIREMENT OF 15') F.E.M.A. 2006 ADVISORY PANEL NO. LA-F104 PLACES THIS PROPERTY IN ZONE "VE" WITH A LOWEST HORIZONTAL BEAM BASE FLOOD REQUIREMENT OF 16'.

I CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AND THAT THE ACCURACY STANDARDS ARE IN ACCORDANCE WITH CLASS "C" (SUBURBAN) SURVEYS AS INDICATED IN THE ABOVE STANDARDS.

THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, RIGHT-OF-WAYS, EASEMENTS OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

- LEGEND:
- INDICATES 5/8" IRON ROD SET
 - INDICATES CONC. NAIL IN SHINER
 - INDICATES 3/4" IRON PIPE FOUND
 - EXISTING POWER POLE
 - ⊗ EXISTING POWER POLE WITH LIGHT
 - ⊙ EXISTING METER POLE
 - EXISTING FIRE HYDRANT
 - 4.6' SPOT ELEVATION (BASED ON NAVD '88, 2006)
 - INDICATES DRAINAGE ARROWS
 - ◆ INDICATES BENCHMARK "STA. LITTLER 2" - 1993
 - 8233 INDICATES MUNICIPAL ADDRESS

DEVELOPER: BLAINE MELANCON
LAND USE: MOORING & DOCKING PURPOSES ONLY
SURVEY OF LOTS 6-A, 6-B, 6-C & 6-D
A REDIVISION OF LOT 6
FORMER PROPERTY OF BURLINGTON RESOURCES
LOCATED IN SECTIONS 84 & 85, T21S-R18E,
TERREBONNE PARISH, LOUISIANA

MARCH 30, 2009

SCALE: 1" = 20'

Keneth L. Rembert
KENETH L. REMBERT, SURVEYOR
635 SCHOOL ST., HOUMA, LA.



2

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
 Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
- B. Mobile Home Park
- Re-Subdivision
- C. Major Subdivision
- D. Minor Subdivision
- Conceptual
- Preliminary
- Engineering
- Final

_____ Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

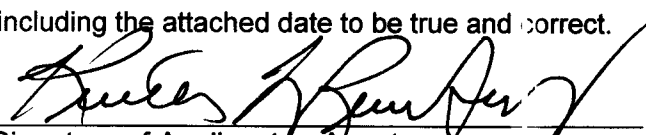
- SURVEY OF TRACTS A-1, A-2, A-3 & A-4 A REDIVISION OF TRACT A
 1. Name of Subdivision: A PORTION OF TRACT 32 OF TERREBONNE PROJECT LA-12
2. Developer's Name & Address: DIANE BLANCHARD P O BOX 110 SCHRIEVER LA 70395
 *Owner's Name & Address: DIANE BLANCHARD P O BOX 110 SCHRIEVER LA 70395
 [* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: KENETH L. REMBERT, SURVEYOR

SITE INFORMATION:

4. Physical Address: 413 & 415 BACK PROJECT ROAD SCHRIEVER LA 70395
5. Location by Section, Township, Range: IN SECTION 84, T15S-R16E
6. Purpose of Development: CREATE TWO HOMESITES FOR CHILDREN.
7. Land Use:
- Single-Family Residential
 - Multi-Family Residential
 - Commercial
 - Industrial
8. Sewerage Type:
- Community
 - Individual Treatment
 - Package Plant
 - Other
9. Drainage:
- Curb & Gutter
 - Roadside Open Ditches
 - Rear Lot Open Ditches
 - Other
10. Date and Scale of Map: MARCH 10, 2009 SCALE: 1"=50'
11. Council District: 6 - K. Voisin / Schriever Fire
12. Number of Lots: 4
13. Filing Fees: \$146.00

I, KENETH L. REMBERT , certify this application including the attached date to be true and correct.


KENETH L. REMBERT, SURVEYOR
 Print Applicant or Agent


 Signature of Applicant or Agent

MARCH 26, 2009
 Date

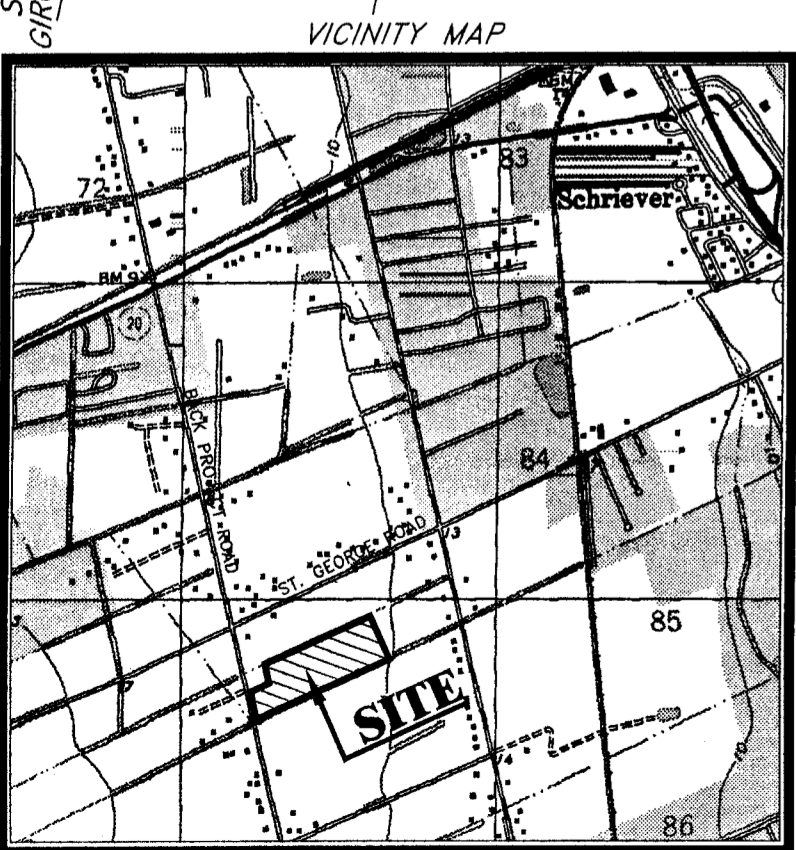
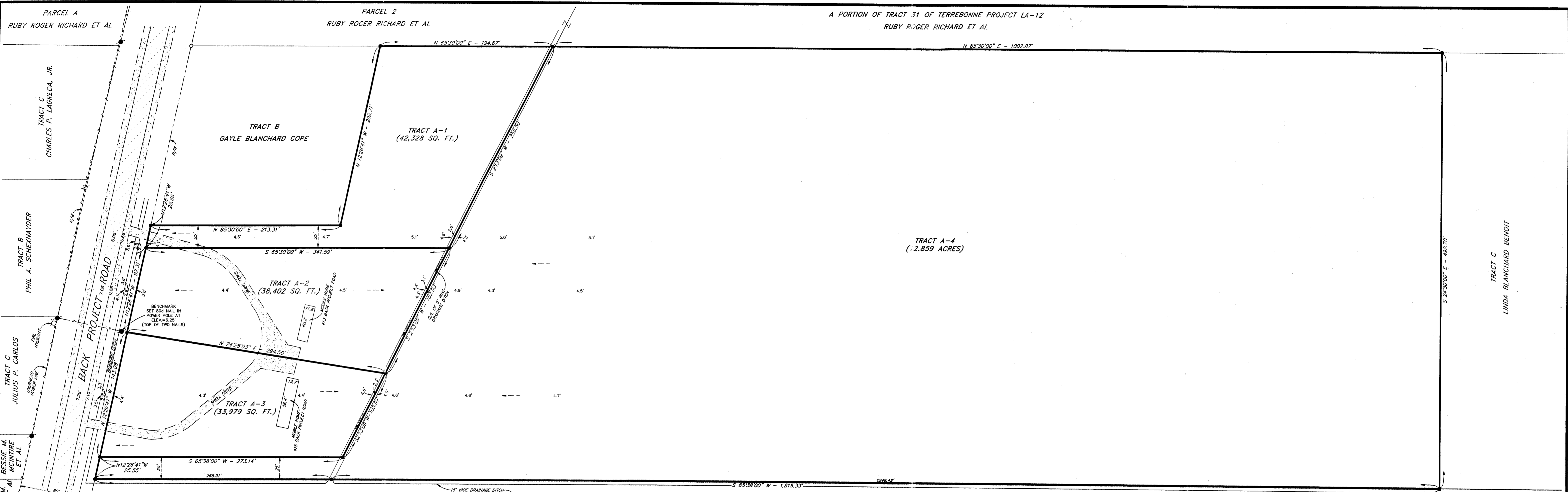
The undersigned certifies: D. B. 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

DIANE BLANCHARD
 Print Name


 Signature

MARCH 26, 2009
 Date

PC09/ 4 - 3 - 23
 Record # 24



TRACT A
LEONARD J. POLLET ET UX

APPROVED AND ACCEPTED THIS DATE _____
BY THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION

BY _____ FOR _____

DEVELOPER: DIANE BLANCHARD
LAND USE: RESIDENTIAL

SURVEY OF TRACTS A-1, A-2, A-3 & A-4
A REDIVISION OF TRACT A
A PORTION OF TRACT 32 OF TERREBONNE PROJECT LA-12
LOCATED IN SECTION 84, T15S-R16E,
TERREBONNE PARISH, LOUISIANA

MARCH 10, 2009 SCALE: 1" = 50'

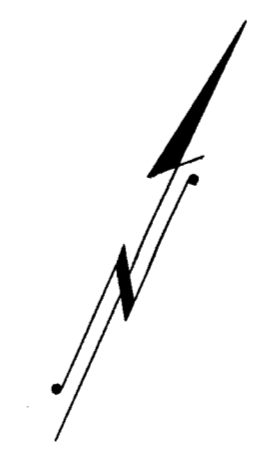
THIS MAP DOES NOT PURPORT TO SHOW ALL SERVITUDES, RIGHT-OF-WAYS, EASEMENTS OR OTHER PHYSICAL OBJECTS THAT MAY AFFECT THE TRACT SURVEYED.

THIS PROPERTY DRAINS TO ROADSIDE DITCH WHICH IS MAINTAINED BY TERREBONNE PARISH CONSOLIDATED GOVERNMENT, TO A DITCH IN THE REAR AND NEAR THE SIDE PROPERTY LINE WHICH IS MAINTAINED BY THE OWNER. THE OWNERS OF THESE TRACTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.

THIS SURVEY BASED ON MAP RECORDED UNDER ENTRY NO. 1158182 AS FILED IN THE TERREBONNE PARISH CLERK OF COURT OFFICE AND NO ADDITIONAL TITLE RESEARCH WAS MADE BY KENNETH L. REMBERT SURVEYORS. BEARINGS SHOWN HEREON ARE BASED ON SAID MAP.

THESE TRACTS ARE LOCATED IN ZONE "C" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY MAP, COMMUNITY NO. 225206, PANEL NO. 0415, SUFFIX "C", AND DATED MAY 1, 1985. (ZONE "C" IS AN AREA OF MINIMAL FLOODING.) F.E.M.A. 2006 ADVISORY PANEL NO. LA-V99 DOES NOT AFFECT THIS PROPERTY.

I CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AND THAT THE ACCURACY STANDARDS ARE IN ACCORDANCE WITH CLASS "C" (SUBURBAN) SURVEYS AS INDICATED IN THE ABOVE STANDARDS.



- LEGEND:
- INDICATES 5/8" IRON ROD SET
 - INDICATES 3/4" IRON PIPE FOUND
 - ⊙ EXISTING POWER POLE
 - ⊕ EXISTING POWER POLE WITH LIGHT
 - ⊛ EXISTING METER POLE
 - ⊠ EXISTING FIRE HYDRANT
 - 4.6' SPOT ELEVATION (BASED ON NAVD '88, 2006)
 - INDICATES DRAINAGE ARROWS
 - Ⓜ INDICATES MUNICIPAL ADDRESS

Kenneth L. Rembert
KENNETH L. REMBERT, SURVEYOR
635 SCHOOL ST., HOUMA, LA.



3

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 – Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. _____ Raw Land
_____ Re-Subdivision
- B. _____ Mobile Home Park
- C. _____ Major Subdivision
_____ Conceptual
_____ Preliminary
_____ Engineering
_____ Final
- D. X Minor Subdivision

X Variance(s) (detailed description):

Engineering

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: C & J Enterprises, L.L.C., et al
- Developer's Name & Address: C & J Enterprises, L.L.C., et al, P. O. Box 2266,, Houma, LA 70361
*Owner's Name & Address: C & J Enterprises, L.L.C., et al, P. O. Box 2266, Houma, LA 70361
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: T. Baker Smith, Inc.

SITE INFORMATION:

- Physical Address: 401 Glynn Avenue, Houma, LA 70363
- Location by Section, Township, Range: Section 12, T17S-R18E and Section 105, T17S-R17E
- Purpose of Development: Division of property for proposed sale.
- Land Use:
_____ Single-Family Residential
_____ Multi-Family Residential
 X Commercial
_____ Industrial
- Sewerage Type:
 X Community
_____ Individual Treatment
_____ Package Plant
_____ Other
- Drainage:
_____ Curb & Gutter
 X Roadside Open Ditches
_____ Rear Lot Open Ditches
_____ Other
- Date and Scale of Map: February 21, 2007 Scale: 1"=100'
- Council District: 1 - C. Voisin / Houma - Grand Caillou Fire
- Number of Lots: 1
- Filing Fees: \$130.25 amb

I, David L. Martinez, P.L.S. , certify this application including the attached date to be true and correct.

David L. Martinez, P.L.S.

Print Applicant or Agent

3/30/2009

Date

[Signature]
Signature of Applicant or Agent

The undersigned certifies: _____ 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or MJF 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Marshall J. Faulk

Print Name

3/30/2009

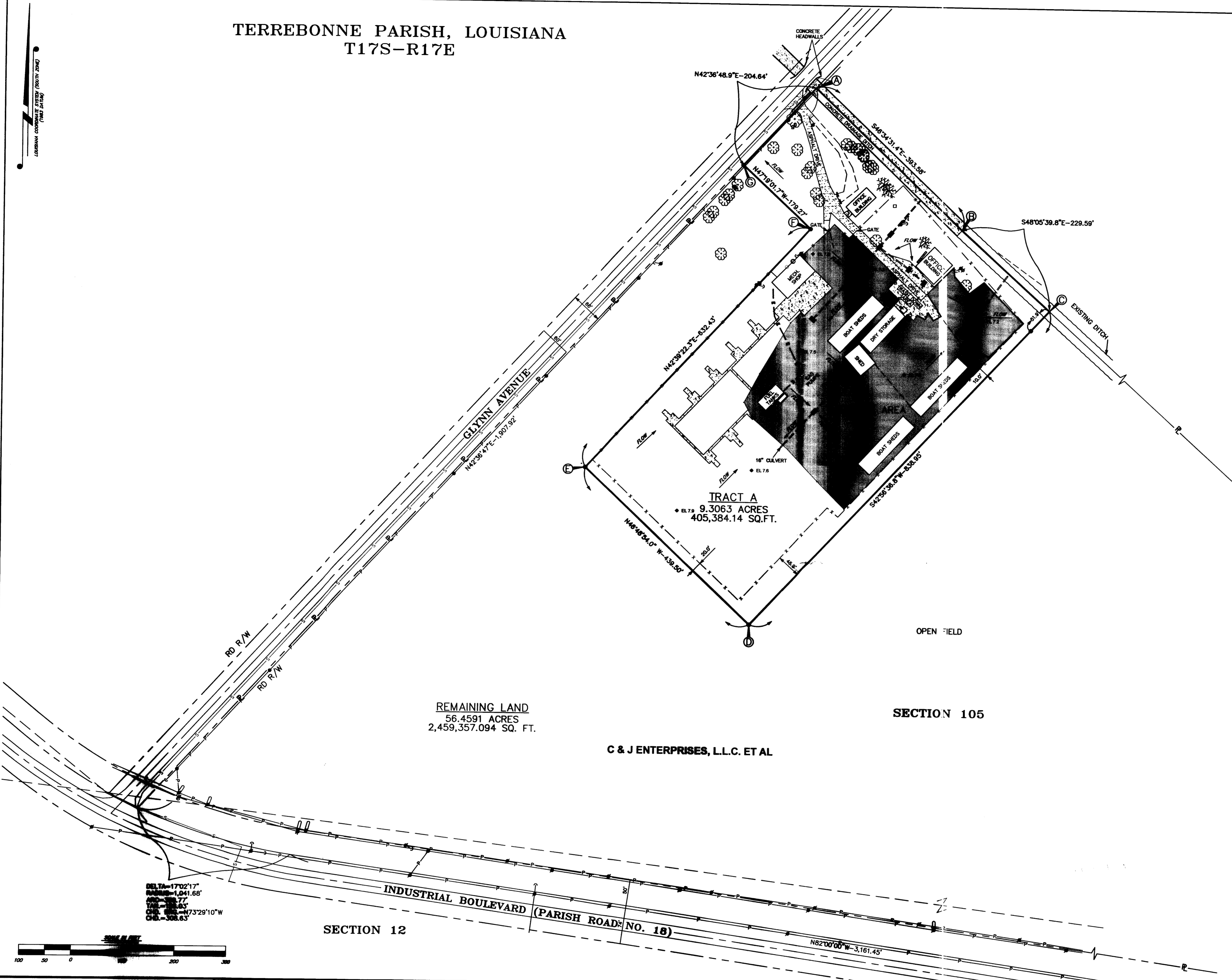
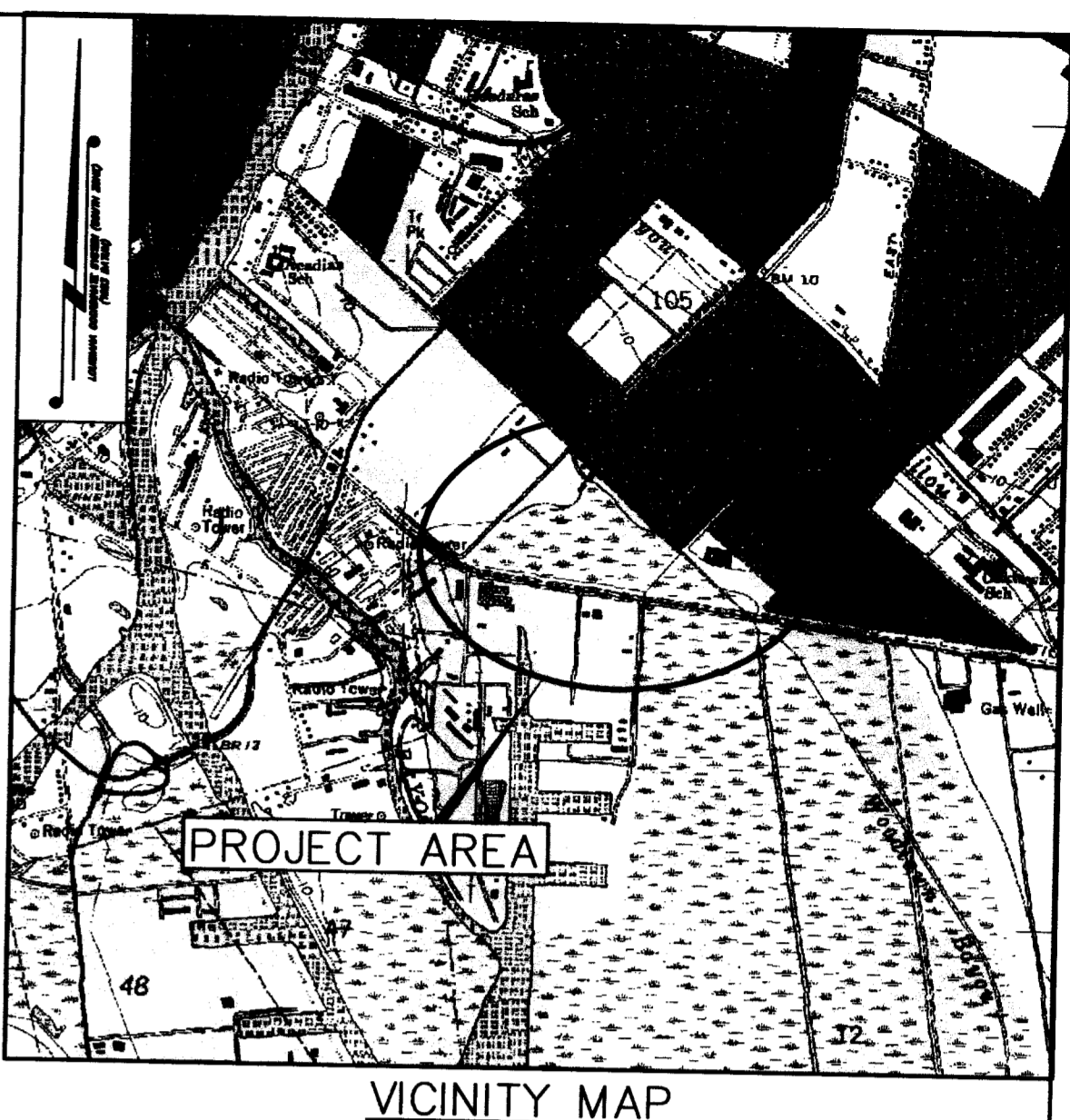
Date

[Signature]
Signature

PC09/ 4 - 4 - 24

Record # 25

TERREBONNE PARISH, LOUISIANA
T17S-R17E



- LEGEND:**
- DENOTES OVERHEAD POWER LINE
 - S— DENOTES SEWER LINE
 - E— DENOTES UNDERGROUND ELECTRIC
 - x- DENOTES FENCE
 - DENOTES GAS LINE
 - DENOTES 3/4" G.L.P. SET
 - # DENOTES POWER POLE
 - # DENOTES TELEPHONE POLE
 - DENOTES SEWER CLEAN OUT
 - DENOTES CATCH BASIN
 - DENOTES TREE
 - DENOTES TREE
 - DENOTES DRAINAGE DIRECTION

APPROVED AND ACCEPTED THIS DATE _____ BY THE
 HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.
 APPROVED: _____ FOR _____

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH URBAN BUSINESS DISTRICT AREA SURVEYING IN THE ABOVE STANDARDS.

APPROVED:
 DAVID L. MARTINEZ, P.L.S.
 REG. LA. PROFESSIONAL LAND SURVEYOR NO. 4614



REFERENCE MAPS AND BEARINGS:
 SURVEY OF A 85.7854 ACRE TRACT LOCATED IN SECTION 12, T17S-R18E AND SECTION 105, T17S-R17E, TERREBONNE PARISH, LOUISIANA DATED OCT. 24 1996 BY T. BAKER SMITH

LAND USE: COMMERCIAL

NOTES:

DATE	REVISIONS	DRAWN BY	APPROVED BY



FILE NAME: 062000T01-R1
 TBS NO.: 2006.2000
 DATE: 2/21/07
 PLOT SCALE: 1"=100'
 DRAWN BY: DFT
 APPROVED: DLM
 MAP NO.

C & J ENTERPRISES, L.L.C. ET AL
DIVISION OF PROPERTY LOCATED IN SECTION 12, T17S-R18E AND SECTION 105, T17S-R17E TERREBONNE PARISH, LOUISIANA

SHEET NO.
1
 OF
1

4

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
- Re-Subdivision
- B. Mobile Home Park
- C. Major Subdivision
- Conceptual
- Preliminary
- Engineering
- Final
- D. Minor Subdivision

Variance(s) (detailed description):

Engineering

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: Jonathon Carriles & Eva Raye Smith
Carriles: 12241 Lexington Park Dr. Apt. 108, Tampa, FL 33626
2. Developer's Name & Address: Smith: 1727 Chicot Park Rd., Ville Platte, LA 70386
*Owner's Name & Address: Same as above
[All owners must be listed, attach additional sheet if necessary]*
3. Name of Surveyor, Engineer, or Architect: T. Baker Smith, Inc.

SITE INFORMATION:

4. Physical Address: 1788 Dr. Beatrous Road, Theriot, LA 70397
5. Location by Section, Township, Range: Section 65, T19S-R17E
6. Purpose of Development: Division of property for proposed sale
7. Land Use:
 - Single-Family Residential
 - Multi-Family Residential
 - Commercial
 - Industrial
8. Sewerage Type:
 - Community
 - Individual Treatment
 - Package Plant
 - Other
9. Drainage:
 - Curb & Gutter
 - Roadside Open Ditches
 - Rear Lot Open Ditches
 - Other
10. Date and Scale of Map: March 30, 2009 Scale: 1"=100'
11. Council District: 7 Bayou Dulong Five
12. Number of Lots: 1
13. Filing Fees: \$140.75 bmb

I, Prosper J. Toups, III, certify this application including the attached data to be true and correct.

Prosper J. Toups, III
Print Applicant or Agent
March 30, 2009
Date


Signature of Applicant or Agent

The undersigned certifies: ERS X 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or ERS X 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Jonathon Carriles
Print Name
EVA RAYE SMITH
Print Name

Jonathon Carriles 3/25/09
Signature
Eva Raye Smith
Signature

Date

PC09/ 4 - 5 - 25

Revised 5/3/07

Record # 26

SEC. 53
SEC. 65

TERREBONNE PARISH, LOUISIANA
T19S-R17E

APPROVED AND ACCEPTED THIS DATE _____ BY THE
HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.
APPROVED: _____ FOR _____

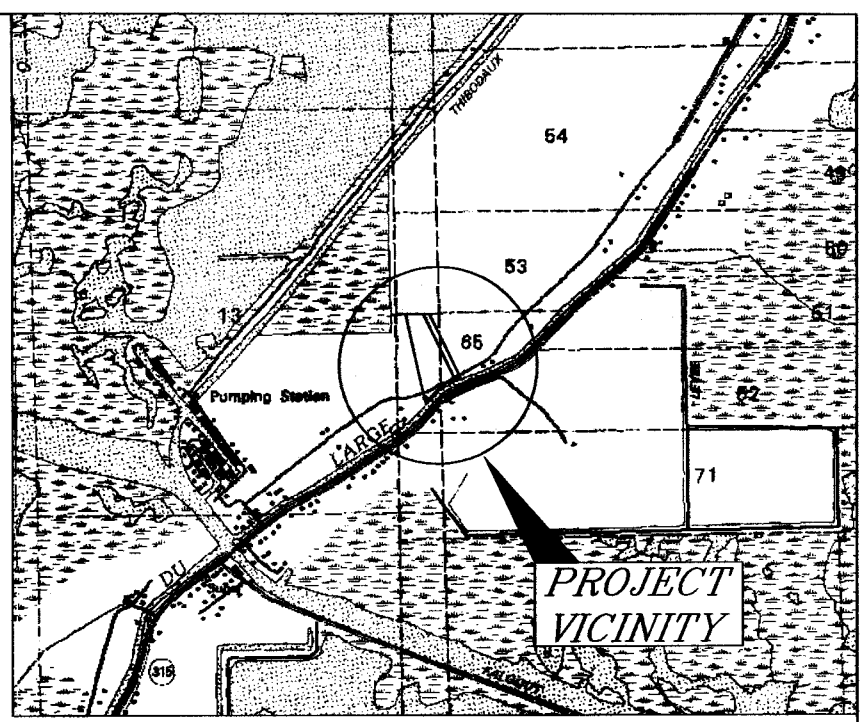
NOTE: ALL PROPERTY AND LOT CORNERS WILL BE MONUMENTED UPON APPROVAL
OF THE HOUMA - TERREBONNE REGIONAL PLANNING COMMISSION.

THE PROPERTY DRAINS TO THE HIGHWAY WHICH IS MAINTAINED
BY THE PARISH OF TERREBONNE, TO BAYOU DULARGE AND
TO THE SWAMP TO THE REAR. THE OWNERS OF THESE TRACTS
WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES
NECESSARY TO REACH THESE AREAS.

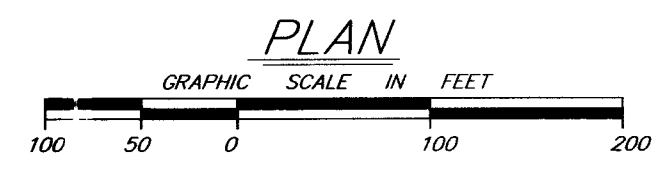
LOT 3B-1 (JONATHON CARRILES) WILL BE
SUBDIVIDED INTO LOTS 3B-1a & 3B-1b.

LOT 3B-2 (EVA RAYE SMITH) WILL BE
SUBDIVIDED INTO LOTS 3B-2a & 3B-2b.

LOTS 3B-1b & 3B-2b WILL BE PERMANENTLY ATTACHED.



VICINITY MAP
N.T.S.



5

- LEGEND:
- FND 5/8" I.R.
 - ▲ 3/4" G.I.P. TO BE SET UPON APPROVAL OF T.P.R.P.C.
 - PROPOSED DRY HYDRANT
 - ⊕ POWER POLE
 - POWER LINE
 - 6.2' NATURAL GROUND ELEV. (NGVD)
 - DIRECTION OF DRAINAGE FLOW

JONATHON CARRILES
7.344 ACRES
TRACT 3B-1a

1.539 ACRES
TRACT 3B-1b

ANNA CARRILES
OR ASSIGNS
TRACT 2B

NOTE:

REFERENCE BEARINGS TAKEN FROM A SURVEY PLAT PREPARED BY KENETH L. REMBERT, SURVEYOR
ENTITLED "SURVEY OF TRACT 3B-1 & TRACT 3B-2, A REDIVISION OF TRACT 3B,
PROPERTY BELONGING TO AL CARRILES IN SECTIONS 51, 52, 65 & 71, T19S-R17E,
TERREBONNE PARISH, LOUISIANA" DATED JUNE 28, 2007

RESIDENTIAL USE
DEVELOPERS: JONATHON CARRILES AND EVA RAYE SMITH

DIVISION OF PROPERTIES

BELONGING TO JONATHON CARRILES & EVA RAYE SMITH
LOCATED IN SECTION 65, T19S-R17E
TERREBONNE PARISH, LA.

MARCH 30, 2019

THIS TRACT IS LOCATED IN ZONE AE AS SHOWN ON THE RITA ADVISORY
BASE FLOOD ELEVATION MAP, MAP NUMBER LA-L101, DATED FEBRUARY 23, 2006.
ADVISORY BASE FLOOD ELEVATION FOR ZONE AE IS 10.0' N.G.V.D.

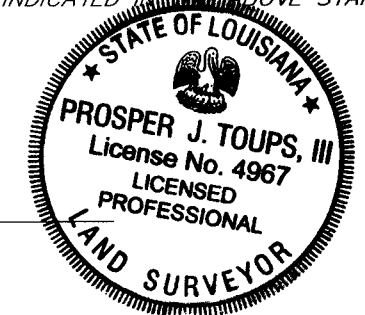
THIS TRACT IS LOCATED IN ZONE A15 AS SHOWN ON THE F.E.M.A. FLOOD INSURANCE
RATE MAP, COMMUNITY PANEL NO. 225206 00475C, DATED MAY 1, 1985.
COMMUNITY BASE FLOOD ELEVATION FOR ZONE A15 IS 9.0' N.G.V.D.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION
AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE
WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET
FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS &
LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES ARE
IN ACCORDANCE WITH CLASS "D" (RURAL) AREA SURVEYS INDICATED IN THE ABOVE STANDARDS.

THIS SURVEY DOES NOT PURPORT TO SHOW THE LOCATION
OF ANY EXISTING SERVITUDES, EASEMENTS, RIGHTS-OF-WAY,
RESTRICTIVE COVENANTS, AND/OR REGULATIONS OF GOVERNING
AUTHORITIES WHICH MAY AFFECT SAID PROPERTY EXCEPT
AS OTHERWISE SHOWN HEREON.

TBS T. BAKER SMITH
PROFESSIONAL CONSULTANTS SINCE 1953
(985) 865-1050 www.tbsmith.com

APPROVED: _____
PROSPER J. TOUPS, III
LA. LAND SURVEYOR REG. NO. 4967



Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
 Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
- B. Mobile Home Park
- Re-Subdivision
- C. Major Subdivision
- D. Minor Subdivision
- Conceptual
- Preliminary
- Engineering
- Final

_____ Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:


1. Name of Subdivision: CONCORD BUSINESS PARK
2. Developer's Name & Address: SOUTH HOLLYWOOD PROPERTIES, #1, L.L.C. 315 Burrow St. Houma LA 70360
*Owner's Name & Address: SOUTH HOLLYWOOD PROPERTIES, #1, L.L.C. Same
[* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: DAVID A. WAITZ ENGINEERING & SURVEYING, INC.

SITE INFORMATION:

4. Physical Address: BEAUREGARD STREET, HOUMA, LA
5. Location by Section, Township, Range: SECTION 104, T17S-R17E
6. Purpose of Development: DIVISION OF PROPERTY FOR COMMERCIAL USE
7. Land Use:
 - Single-Family Residential
 - Multi-Family Residential
 - Commercial
 - Industrial
8. Sewerage Type:
 - Community
 - Individual Treatment
 - Package Plant
 - Other
9. Drainage:
 - Curb & Gutter
 - Roadside Open Ditches
 - Rear Lot Open Ditches
 - Other
10. Date and Scale of Map: MARCH 3, 2009 1" = 100'
11. Council District: 6-K. Voinin / COH Fire Dist.
12. Number of Lots: 14
13. Filing Fees: \$75.00 + 26.25 = 101.25

I, DAVID A. WAITZ, AGENT, certify this application including the attached date to be true and correct.

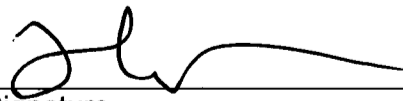
DAVID A. WAITZ, AGENT
 Print Applicant or Agent


 Signature of Applicant or Agent

3/30/09
 Date

The undersigned certifies: 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or TT 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

TIMOTHY J. THOMPSON, MANAGER
 Print Name

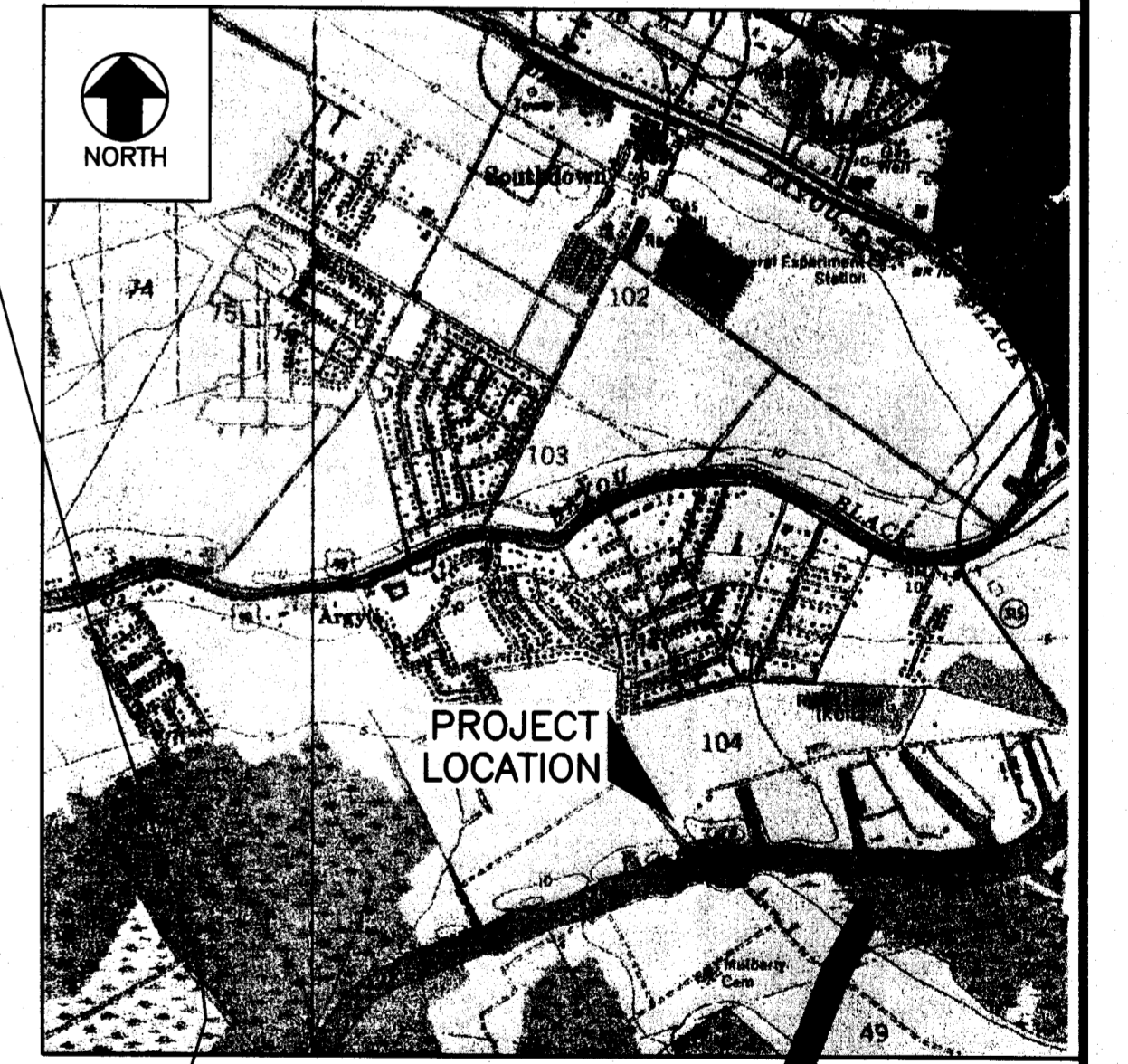

 Signature

 Date

PC09/ 4 - 6 - 26 *
 Record # 27

LEGEND

- FOUND PROPERTY MARKER
- SET 3/4" I.R.
- EXISTING WATER LINE W
- EXISTING GAS LINE G
- EXISTING SEWER LINE S
- EXISTING OVERHEAD POWER LINE E
- EXISTING TELEPHONE LINE T
- EXISTING FENCE X
- EXISTING POWER POLE W/ LIGHT
- EXISTING POWER POLE
- EXISTING ANCHOR
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING GAS VALVE
- EXISTING GAS METER
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN WITH SUBSURFACE DRAINAGE



CONCORD BUSINESS PARK
LOCATED IN SECTION 104, T17S-R17E,
TERREBONNE PARISH, LOUISIANA

DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.
Civil Engineers & Professional Land Surveyors
Thibodaux, Louisiana

SCALE IN FEET

100'	50'	0	100'	200'	300'
------	-----	---	------	------	------

DATE	DESCRIPTION	BY	CHECKED

DESIGNED: DAW	DATE: MARCH 3, 2009	FILE: F:\DWG\2009\09-009\LAYOUT.DWG	TRACED:
CHECKED: DAW			CHECKED:
			JOB NO: 09-009

PRELIMINARY

COPY

APPROVED: David A. Waitz Reg. No. 4744

NOTE:
THIS PLAT DOES NOT PURPORT TO SHOW ALL EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES AND/OR PIPELINES THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE ABSTRACT AND TITLE OPINION.

NOTE: THIS IS NOT A BOUNDARY SURVEY. IT IS INTENDED SOLELY TO SHOW LANDS OWNED BY SOUTH HOLLYWOOD PROPERTIES #1, L.L.C.

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
 Re-Subdivision
- B. Mobile Home Park
- C. Major Subdivision
 Conceptual
 Preliminary
 Engineering
 Final
- D. Minor Subdivision

Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- CYPRESS GARDENS SUBDIVISION (PHASE A)-A PLANNED UNIT*
1. Name of Subdivision: DEVELOPMENT
2. Developer's Name & Address: CYPRESS GARDENS DEVELOPMENT, L.L.C., 7 GOLF VILLA,
NEW ORLEANS, LA 70131
- *Owner's Name & Address: CYPRESS GARDENS DEVELOPMENT, L.L.C., 7 GOLF VILLA,
NEW ORLEANS, LA 70131
[* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: DAVID A. WAITZ ENGINEERING & SURVEYING, INC.

SITE INFORMATION:

4. Physical Address: VICARI DRIVE, HOUMA, LA
5. Location by Section, Township, Range: SECTION 9, T16S-R17E
6. Purpose of Development: DIVISION OF PROPERTY FOR RESIDENTIAL USE
7. Land Use:
 Single-Family Residential
 Multi-Family Residential
 Commercial
 Industrial
8. Sewerage Type:
 Community
 Individual Treatment
 Package Plant
 Other
9. Drainage:
 Curb & Gutter
 Roadside Open Ditches
 Rear Lot Open Ditches
 Other
10. Date and Scale of Map: MARCH 17, 2009 1" = 60'
11. Council District: 4- Cavalier / Bayou Cane Jure Dist.
12. Number of Lots: 46
13. Filing Fees: \$75.00 + 26.25 = \$101.25

I, DAVID A. WAITZ, AGENT, certify this application including the attached date to be true and correct.

DAVID A. WAITZ, AGENT
Print Applicant or Agent


Signature of Applicant or Agent

3/30/09
Date

The undersigned certifies: 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, ^{initial} 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

ROBERT L. BROGGI, MANAGER
Print Name

Signature

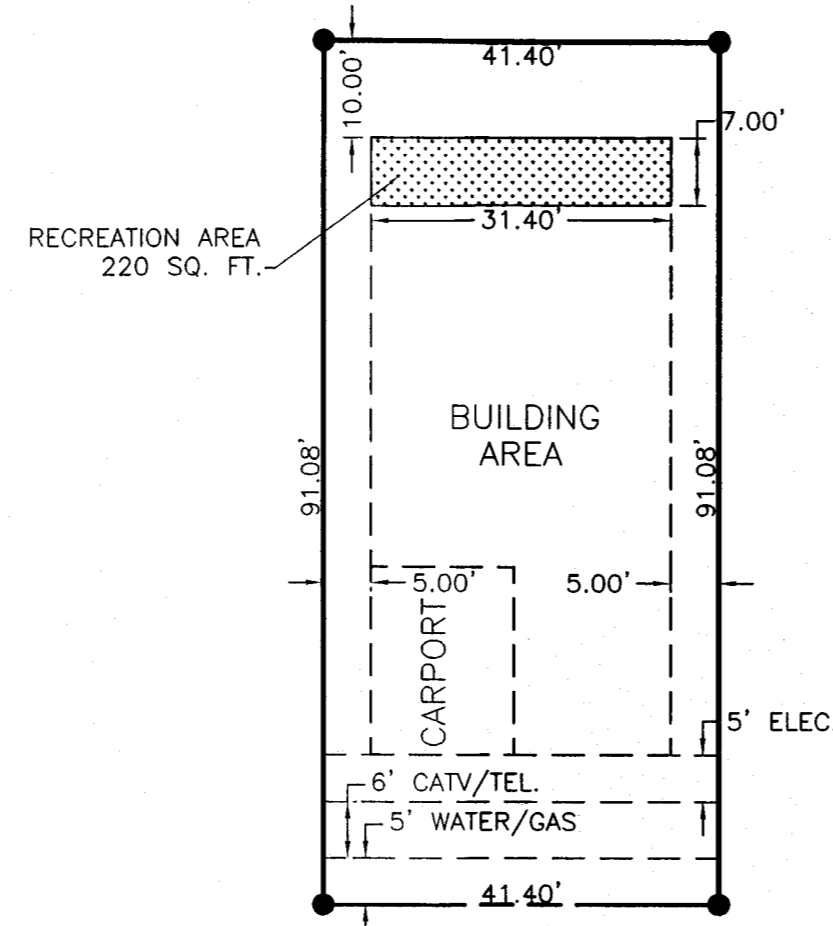
3/30/09

PC09/ 4 - 7 - 21

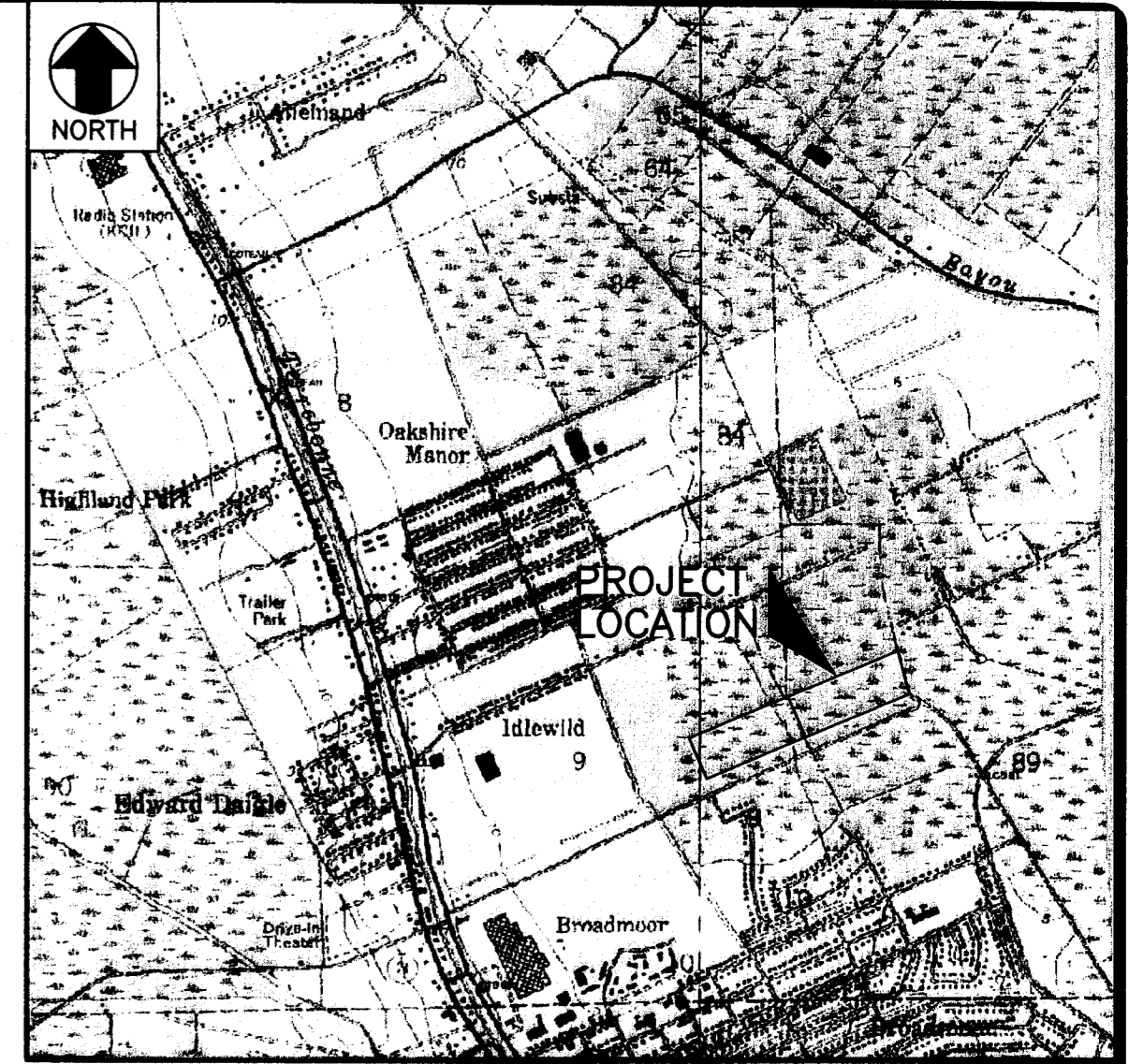
Record # 20

REFERENCE MAPS & BEARINGS:

- 1) A MAP ENTITLED:
"BAYOU GARDENS SUBDIVISION - ADDENDUM NO.8"
PREPARED BY: T. BAKER SMITH AND SON INC.
DATED: DECEMBER 20, 1979
- 2) A MAP ENTITLED:
"MAP SHOWING PROPERTY OF HAYNES GUIDRY,
MAGNEL HEBERT, ILEY A. HEBERT AND IRENE WALLACE
IN SECTION 9, T16S-R17E, TERREBONNE PARISH, LOUISIANA"
PREPARED BY: T. BAKER SMITH AND SON INC.
DATED: JANUARY 9, 1962



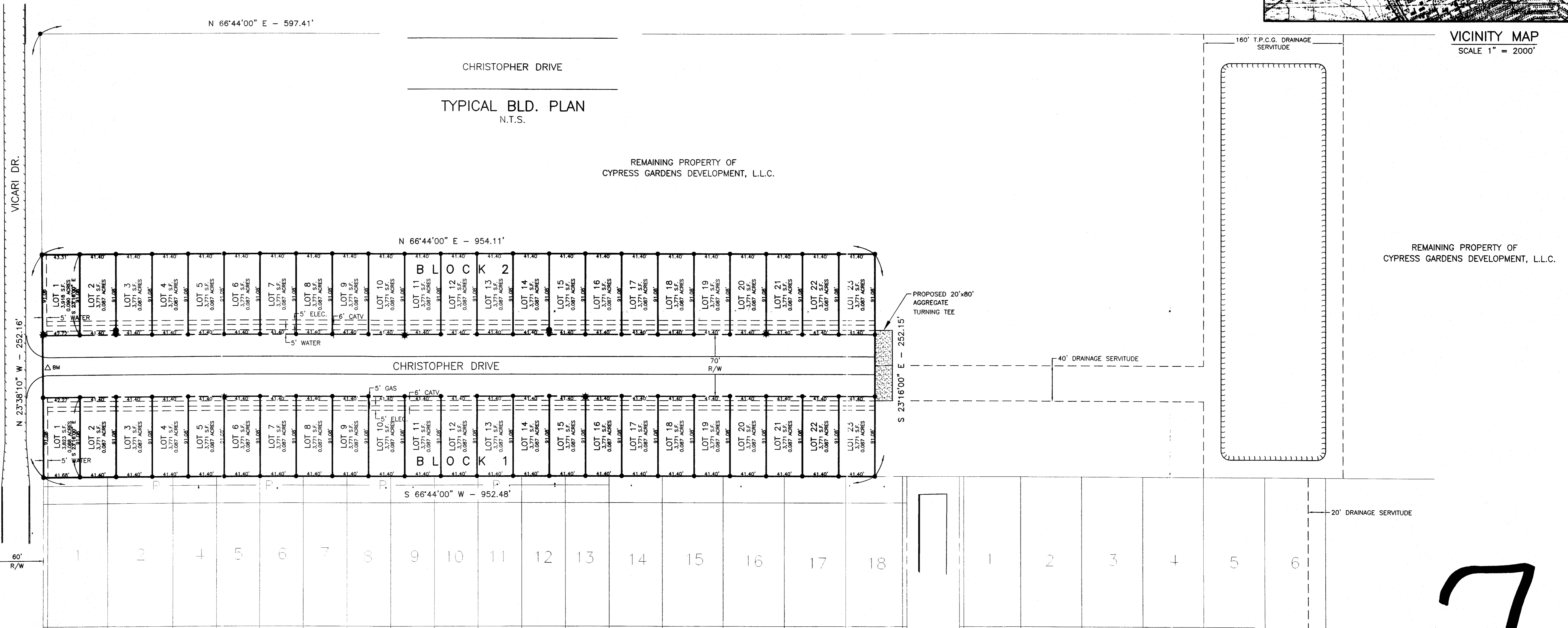
ILEY A. HEBERT
OR ASSIGNS



VICINITY MAP
SCALE 1" = 2000'

LEGEND

- FOUND PROPERTY MARKER ○
- SET 3/4" I.R. ●
- EXISTING WATER LINE — W —
- EXISTING GAS LINE — G —
- EXISTING SEWER LINE — S —
- EXISTING OVERHEAD POWER LINE — E —
- EXISTING TELEPHONE LINE — T —
- EXISTING FENCE — X —
- EXISTING POWER POLE W/ LIGHT ○
- EXISTING POWER POLE ○
- EXISTING ANCHOR — A —
- EXISTING TELEPHONE PEDESTAL — TP —
- EXISTING WATER VALVE — WV —
- EXISTING FIRE HYDRANT — FH —
- EXISTING WATER METER — WM —
- EXISTING GAS VALVE — GV —
- EXISTING GAS METER — GM —
- EXISTING SEWER MANHOLE — SM —
- EXISTING CATCH BASIN WITH SUBSURFACE DRAINAGE — CB —
- PROPOSED 2" DISK — D —



DEDICATION:
THIS IS TO CERTIFY THAT A SERVITUDE OF PASSAGE AND THE RIGHT TO INSTALL AND MAINTAIN DRAINAGE, ELECTRICAL, COMMUNICATION, GAS, SEWER & WATER UTILITIES IS HEREBY CREA ED IN FAVOR OF THE TERREBONNE PARISH CONSOLIDATED GOVERNMENT, SOUTH CENTRAL BELT, TIME WARNER CABLE, AND SLECA OVER AND IN ALL THESE CERTAIN STREETS AND SERVITUDES AS NAMED HEREON AND/OR SHOWN ON THIS PLAT OF SUBMISSION AND BELONGING TO THE UNDERSIGNED FEE TITLE OWNERSHIP OF SAID STREET RIGHT-OF-WAY AND SERVITUDES IS EXPRESSLY RETAINED, MINERAL RIGHTS ARE SPECIFICALLY EXCLUDED AND ARE RETAINED IN FULL BY THE OWNER THEREOF.

BY: CYPRESS GARDENS DEVELOPMENT, LLC

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE TERREBONNE PARISH CONSOLIDATED GOVERNMENT, STATE OF LOUISIANA, AS TO THE BLOCK LAYOUT AND STREET ALIGNMENT, AND I APPROVE THE SAME.

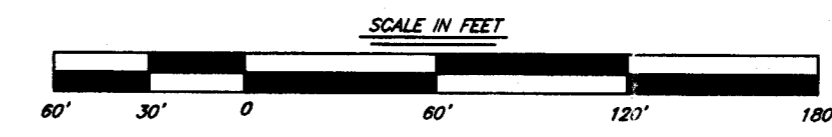
BY: TERREBONNE PARISH CONSOLIDATED GOVERNMENT

CERTIFICATION:
APPROVE AND ACCEPTED THIS DATE _____ BY THE HOUMA TERREBONNE REGIONAL PLANNING COMMISSION.

APPROVED: _____

FOR: _____

BUILDING SETBACK NOTE:
FRONT LINE: 20' SETBACK
SIDE LINE: 5' SETBACK
REAR LINE: 10' SETBACK



DATE	DESCRIPTION	BY

CYPRESS GARDENS SUBDIVISION (PHASE A)
LOCATED IN SECTION 9, T16S-R17E
TERREBONNE PARISH, LOUISIANA

DAVID A. WAITZ
ENGINEERING AND SURVEYING, INC.
Civil Engineers & Professional Land Surveyors
Thibodaux, Louisiana

DESIGNED: DAW	DETAILED: TFR	TRACED:
CHECKED: DAW	CHECKED: DAW	CHECKED:
DATE: MARCH 17, 2009	FILE: F:\VWGS\2005\05-148\PLAT(PHASE A).DWG	JOB NO: 05-146

FEMA FLOOD ZONE AND HAZARDS
THIS DEVELOPMENT IS LOCATED IN ZONE A2, AREAS OF 100-YEAR FLOOD; BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS DETERMINED. (B.F.E. +4.0')
FEMA MAP COMMUNITY PANEL NUMBER 225206 0245 C DATED: MAY 1, 1985
TERREBONNE PARISH ADVISORY BASE FLOOD ELEVATION MAP # LA-S102
DATED: FEBRUARY 23, 2006 FLOOD ZONE: AE A.B.F.E. = 5.0'

CERTIFICATIONS
THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITIONAL TOLERANCES ARE IN ACCORDANCE WITH CLASS "C" SURVEYS INDICATED IN THE ABOVE STANDARDS.

I ALSO CERTIFY THERE ARE NO ENCROACHMENTS ACROSS ANY PROPERTY LINES EXCEPT AS SHOWN

NOTE:
THIS PLAT DOES NOT PURPORT TO SHOW ALL EASEMENTS, SERVITUDES AND/OR RIGHTS-OF-WAY THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT DOES NOT PURPORT TO SHOW ALL UNDERGROUND UTILITIES AND/OR PIPELINES THAT MAY OR MAY NOT EXIST ON THIS PROPERTY. THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A COMPLETE ABSTRACT AND TITLE OPINION.

PRELIMINARY

APPROVED: David A. Waitz Reg. No. 4744

COPY

7

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
 Re-Subdivision
- B. ** Mobile Home Park
- C. Major Subdivision
 Conceptual
 Preliminary
 Engineering
 Final
- D. Minor Subdivision

Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: Four Seasons Mobile Home Park
- Developer's Name & Address: Kevin & Jenny Do 127 Bryce Lane Houma, LA 70360
*Owner's Name & Address: Kevin & Jenny Do. 127 Bryce Lane Houma LA 70360
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: Charles L. McDonald, Land Surveyor, Inc.

SITE INFORMATION:

- Physical Address: 320 & 322 Marie Louise (West Main St)
- Location by Section, Township, Range: Section 9, T16S-R17E
- Purpose of Development: Creates 4 lot Mobile Home Park
- Land Use:
 ** Single-Family Residential
 Multi-Family Residential
 Commercial
 Industrial
- Sewerage Type:
 *** Community
 Individual Treatment
 Package Plant
 Other
- Drainage:
 Curb & Gutter
 ** Roadside Open Ditches
 Rear Lot Open Ditches
 Other
- Date and Scale of Map: 30 March 2009 1" = 30'
- Council District: 4 - Cavalier / Bayou Cane
- Number of Lots: 4
- Filing Fees: \$ 140.75

I, Galen Bollinger, certify this application including the attached data to be true and correct.

Galen Bollinger
Print Applicant or Agent


Signature of Applicant or Agent

30 March 2009
Date

The undersigned certifies: 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Print Name

Signature

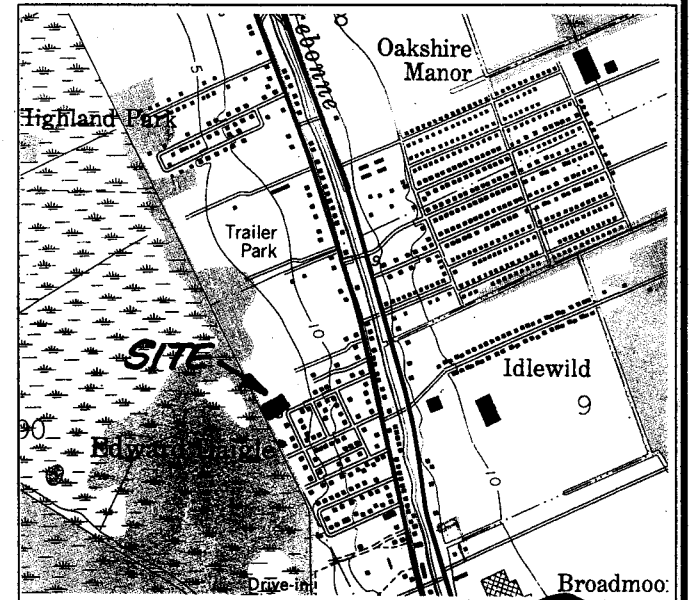
Date

PC09/ 4 - 8 - 28

Record # 29

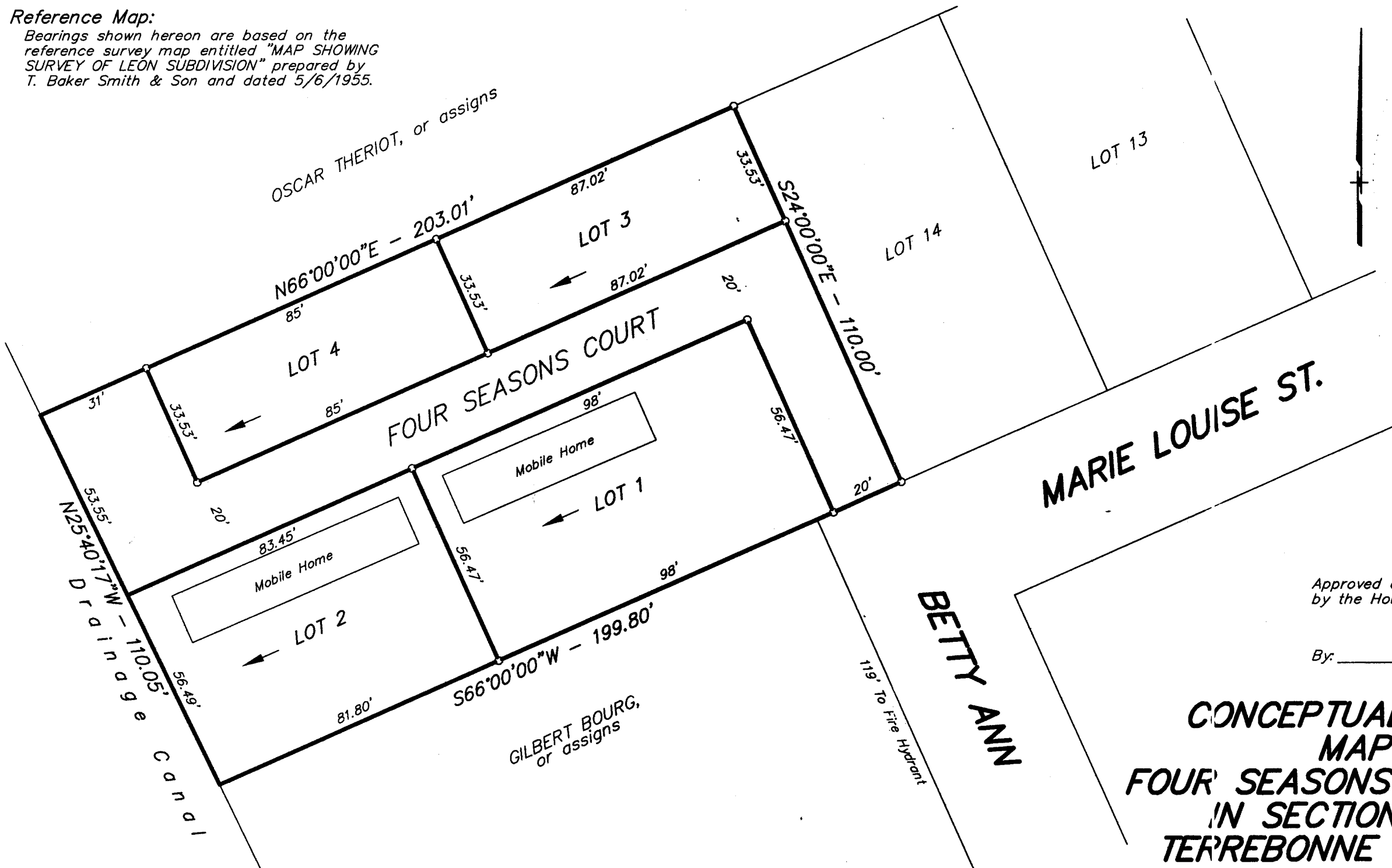
Reference Map:

Bearings shown hereon are based on the reference survey map entitled "MAP SHOWING SURVEY OF LEON SUBDIVISION" prepared by T. Baker Smith & Son and dated 5/6/1955.



Vicinity Map

8



Approved and accepted this date: _____
by the Houma Terrebonne Regional Planning Commission

By: _____ For Conceptual & Preliminary

**CONCEPTUAL & PRELIMINARY
MAP SHOWING
FOUR SEASONS MOBILE HOME PARK
IN SECTION 9, T16S-R17E,
TERREBONNE PARISH, LOUISIANA**

SCALE: 1" = 30'

30 MARCH 2009

CHARLES L. McDONALD
LAND SURVEYOR, INC.
HOUMA, LOUISIANA

I CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS AND THAT THE ACCURACY STANDARDS ARE IN ACCORDANCE WITH CLASS "C" (SUBURBAN) SURVEYS AS INDICATED IN THE ABOVE STANDARDS.

APPROVED:

Galen F. Bollinger

REG. P.L.S. No. 4850



Notes:

This map does not purport to show any pipelines, servitudes and/or rights of ways which may affect this property.

This property is within Zone "A1" (EL5) as shown on the F.E.M.A. Flood Insurance Rate Map dated 5/1/1985. (Map No. 225206 0410 C) The FEMA Advisory Base Flood Elevation Map shows this property to be outside of the limits of the ABFEs. (Map No. LA-S101)

Legend:

- Indicates 1/2" iron rod to be set unless noted
- ➔ Drainage Flow

Proposed Land Use:
Mobile Home Park

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. Raw Land
 Re-Subdivision
- B. Mobile Home Park
- C. Major Subdivision
 Conceptual
 Preliminary
 Engineering
 Final
- D. Minor Subdivision
 Master Proposal
 Conceptual

Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

- Name of Subdivision: Rebecca Plantation, Phase 2, Block 2 - Lot 3
Rebecca Plantation, LLC, 110 Rue Angelique
- Developer's Name & Address: Thibodaux, LA 70301
Rebecca Plantation, LLC, 110 Rue Angelique
- *Owner's Name & Address: Thibodaux, LA 70301
[* All owners must be listed, attach additional sheet if necessary]
- Name of Surveyor, Engineer, or Architect: T. Baker Smith, Inc.

SITE INFORMATION:

- Physical Address: On Rebecca Plantation Blvd. on East side of LA HWY 311 at U.S. HWY 90
- Location by Section, Township, Range: Section 10, T16S - R16E
- Purpose of Development: Commercial Tract
- Land Use:
 Single-Family Residential
 Multi-Family Residential
 Commercial
 Industrial
- Sewerage Type:
 Community
 Individual Treatment
 Package Plant
 Other
- Drainage:
 Curb & Gutter
 Roadside Open Ditches
 Rear Lot Open Ditches
 Other
- Date and Scale of Map: 3/30/09; 1:60
- Council District: 2
Schriever Fire Dist.
- Number of Lots: 1
- Filing Fees: \$125.00

I, James P. Ledet, P.E., certify this application including the attached data to be true and correct.

James P. Ledet, P.E.

Print Applicant or Agent

3/27/09

Date

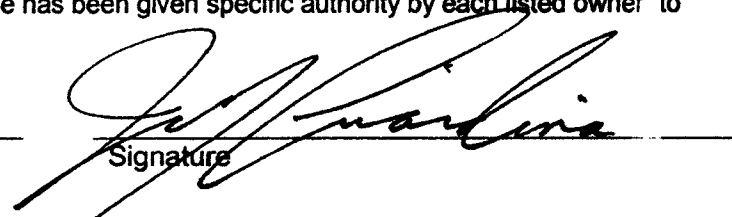

Signature of Applicant or Agent

The undersigned certifies: N/A 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, or 2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Jacob A. Giardina

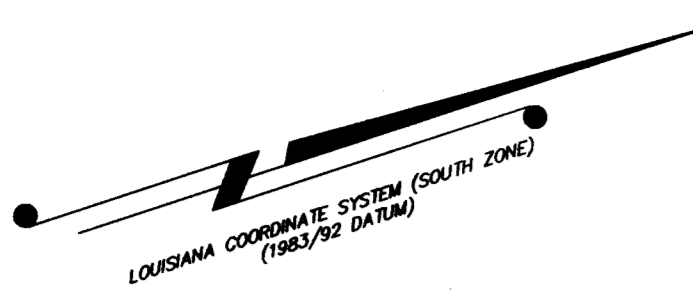
Print Name

3/27/09
Date

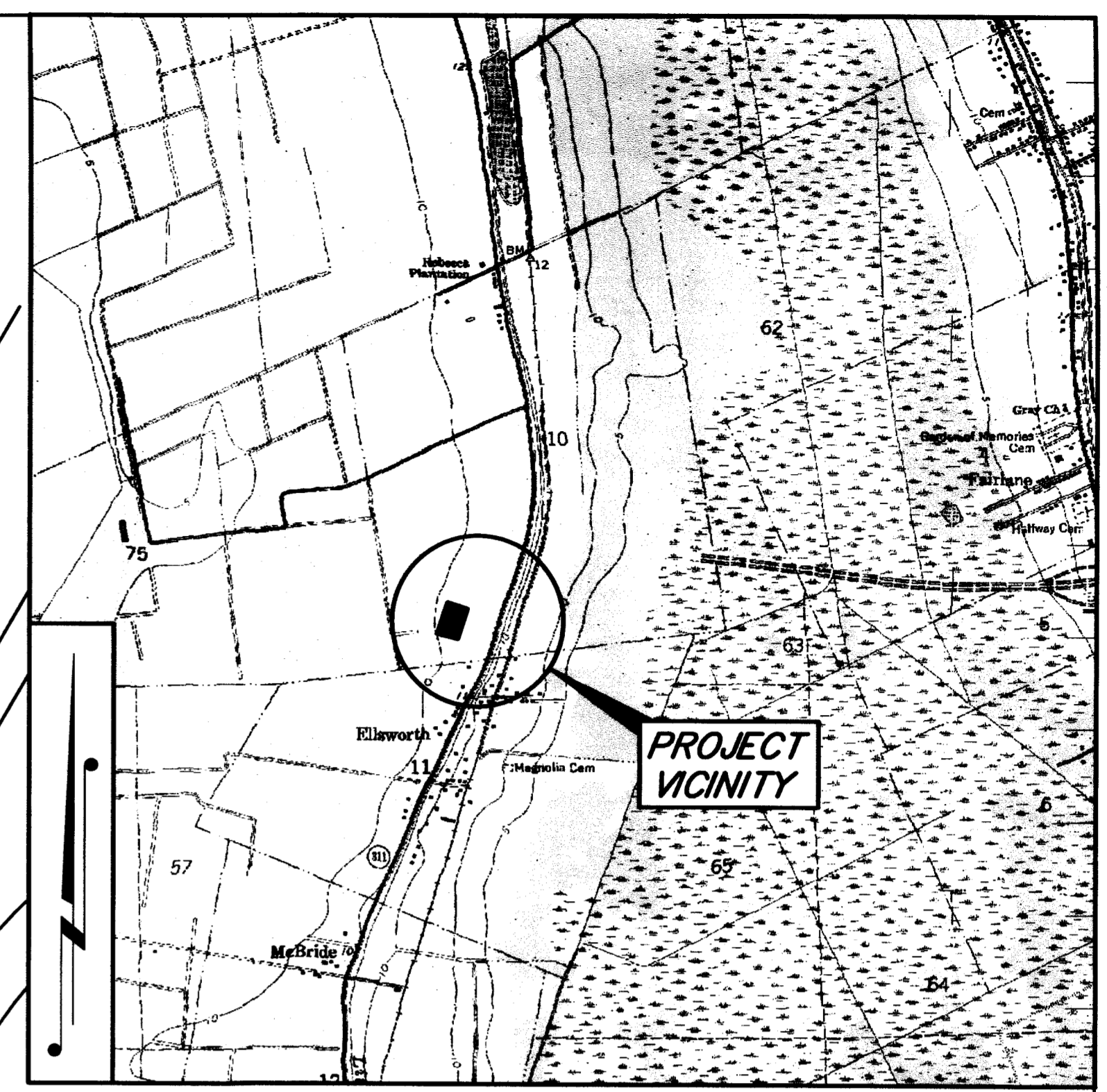
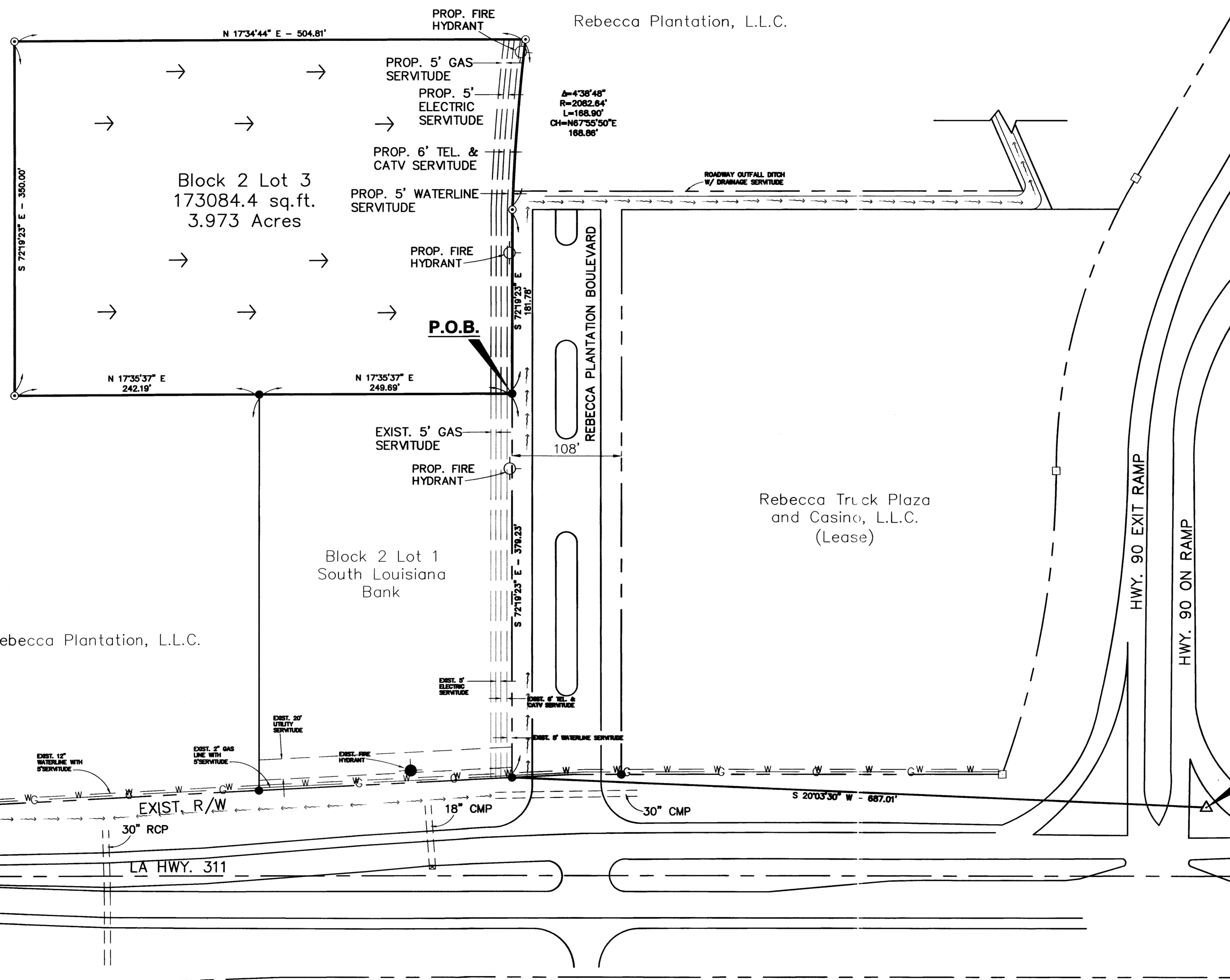

Signature

PC09/ 4 - 9 - 29

Record # 30



ALL TREATED SEWERAGE EFFLUENT SHALL BE DISCHARGED INTO ADJACENT DRAINAGE CANALS AND/OR DRAINAGE SYSTEMS. THE OWNERS OF THESE TRACTS WILL PROVIDE AND PERPETUALLY MAINTAIN ALL DRAINAGE COURSES NECESSARY TO REACH THESE AREAS.



DESCRIPTION:
 Commencing at NGS Monument "3052" having coordinates of X=3,446,197.36 and Y=429,393.48, said point being the Point of Commencement; thence S20'03'30"W a distance of 687.01 feet to a found 3/4" G.I.P.; thence N72'19'23"W a distance of 379.23 feet to a found 3/4" G.I.P.; said point being the Point of Beginning;
 Thence, S17'35'37"W a distance of 249.69 feet to a found 3/4" G.I.P.;
 Thence, S17'35'37"W a distance of 242.19 feet to a set 3/4" G.I.P.;
 Thence, N72'19'23"W a distance of 350.00 feet to a set 3/4" G.I.P.;
 Thence, N17'34'44"E a distance of 504.81 feet to a set 3/4" G.I.P.;
 Thence, along a curve to the right having a radius of 2082.64 feet and a chord bearing of S67'55'50"E with a distance of 168.86 feet, for an arclength distance of 168.90 to a set 3/4" G.I.P.;
 Thence, S72'19'23"E a distance of 181.78 feet to the Point of Beginning containing 3.973 Acres.

REFERENCE:
 STATE PROJECT NO. 424-07-12 Gibson-Raceland Highway (Jct. LA 20-Jct. LA 24) Page 39.
 DIVISION OF 2,208 ACRES ALONG HWY 311 WITHIN REBECCA PLANTATION by T. Baker Smith, Inc., Dated March 25, 2009

- LEGEND:**
- DENOTES 1/4" G.I.P. SET
 - DENOTES 1/4" G.I.P. END
 - △ DENOTES CONTROL MONUMENT END
 - DENOTES CONCRETE HWY MONUMENT END
 - ← DENOTES DRAINAGE FLOW
 - DENOTES EXISTING WATERLINE
 - - - DENOTES EXISTING WATERLINE
 - ⊕ DENOTES EXISTING FIRE HYDRANT
 - DENOTES PROPOSED FIRE HYDRANT

P:\2009.0106\DWG\09.0106P01.dwg

**COMMERCIAL
MINOR SUBDIVISION**

NOTES:
 THIS SURVEY DOES NOT PURPORT TO SHOW THE LOCATION OF ANY EXISTING SERVITUDES, EASEMENTS, RIGHTS-OF-WAY, RESTRICTIVE COVENANTS, AND/OR REGULATIONS OF GOVERNING AUTHORITIES WHICH MAY AFFECT SAID PROPERTY EXCEPT AS OTHERWISE SHOWN HEREON.

DATE	REVISIONS	DRAWN BY	APPROVED BY

TBS T. BAKER SMITH
 PROFESSIONAL CONSULTANTS SINCE 1911
 (985) 968-1050 www.tbsmith.com

THIS IS TO CERTIFY THAT THIS CLASS A SURVEY WAS DONE BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, THAT THE SURVEY WAS DONE ON THE GROUND AND WAS DONE IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS AS SET FORTH BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE ACCURACY SPECIFICATIONS AND POSITIONAL TOLERANCES AND ACCORDANCE WITH BUREAU AREA SURVEYS INDICATED IN THE ABOVE STANDARDS.

DAVID L. MARTINEZ
 REG. No. 4614
 LOUISIANA PROFESSIONAL LAND SURVEYOR

FILE NAME:	09.0106P01.dwg
TBS NO.:	2009.0106
DATE:	3/30/09
PLOT SCALE:	1" = 60'
DRAWN BY:	M.J.L.
APPROVED:	D.L.M.
MAP NO.:	

Rebecca Plantation, L.L.C.
 DIVISION OF BLOCK 2 LOT 3
 WITHIN REBECCA PLANTATION
 SECTION 10, T16S - R16E
 TERREBONNE PARISH

SHEET NO.
1
 OF
1

Houma-Terrebonne Regional Planning Commission

P.O. Box 1446, Houma, Louisiana 70361
Ph. (985) 873-6793 - Fax (985) 580-8141

APPLICATION SUBDIVISION OF PROPERTY

APPROVAL REQUESTED:

- A. _____ Raw Land
_____ Re-Subdivision
X
- B. _____ Mobile Home Park
- C. _____ Major Subdivision
_____ Conceptual
_____ Preliminary
_____ Engineering
X Final
- D. _____ Minor Subdivision

_____ Variance(s) (detailed description):

THE FOLLOWING MUST BE COMPLETE TO ENSURE PROCESS OF THE APPLICATION:

1. Name of Subdivision: Ferrantello Estates
2. Developer's Name & Address: Lee Marsalise, 110 Raymond Dr. De Ridder LA 70634
*Owner's Name & Address: Lee Marsalise Same.
[* All owners must be listed, attach additional sheet if necessary]
3. Name of Surveyor, Engineer, or Architect: Duplantis Design Group and Acadia Land Surveying

SITE INFORMATION:

4. Physical Address: LA Highway 24 @ Ferrantello Boulevard
5. Location by Section, Township, Range: Section 85, Township 15 South - Range 16 East
6. Purpose of Development: Residential Subdivision
7. Land Use:
X Single-Family Residential
_____ Multi-Family Residential
_____ Commercial
_____ Industrial
8. Sewerage Type:
_____ Community
_____ Individual Treatment
X Package Plant
_____ Other
9. Drainage:
_____ Curb & Gutter
X Roadside Open Ditches
_____ Rear Lot Open Ditches
_____ Other
10. Date and Scale of Map: _____
11. Council District: 6 - K. Voisin
Schriever Fire District
12. Number of Lots: 92
13. Filing Fees: \$1355.00 bmb

I, Richard C. Galloway, certify this application including the attached data to be true and correct.


Richard C. Galloway, DDG (Agent)

Print Applicant or Agent

Signature of Applicant or Agent

3/9/09

Date

The undersigned certifies: _____ 1) That he/she is the owner of the entire land included within the proposal, and concurs with the Application, ^{initial} or  2) That he/she has submitted with this Application a complete, true and correct listing of all of the owners of the entire land included within the proposal, that each of the listed owners concur with this Application, and that he/she has been given specific authority by each listed owner to submit and sign this Application on their behalf.

Richard C. Galloway

Print Name

Signature

Date

3-3-09

PC09/ 4 - 10 - 30

Record # 31

ACREAGE TABLE		
LOT	ACRES	SQUARE FEET
1	0.498	21,700
2	0.287	12,490
3	0.283	12,360
4	0.280	12,190
5	0.276	12,040
6	0.273	11,900
7	0.270	11,750
8	0.266	11,600
9	0.263	11,450
10	0.258	11,250
11	0.253	11,000
12	0.249	10,860
13	0.246	10,710
14	0.242	10,560
15	0.239	10,410
16	0.236	10,260
17	0.232	10,120
18	0.229	9,970
19	0.225	9,820
20	0.222	9,670
21	0.219	9,520
22	0.217	9,420
23	0.211	9,200
24	0.209	9,200
25	0.209	9,200
26	0.209	9,200
27	0.206	9,050
GS1	0.344	14,970
1	0.226	9,860
2	0.226	9,860
3	0.229	9,990
4	0.229	9,990
5	0.229	9,990
6	0.229	9,990
7	0.229	9,990
8	0.229	9,990
9	0.229	9,990
10	0.229	9,990
11	0.229	9,990
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14	0.229	9,990
15	0.229	9,990
16	0.229	9,990
17	0.229	9,990
18	0.229	9,990
19	0.229	9,990
20	0.229	9,990
21	0.229	9,990
22	0.229	9,990
23	0.229	9,990
24	0.229	9,990
25	0.229	9,990
17	0.229	9,990
18	0.229	9,990
19	0.229	9,990
20	0.229	9,990

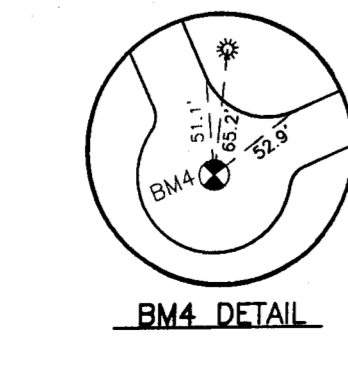
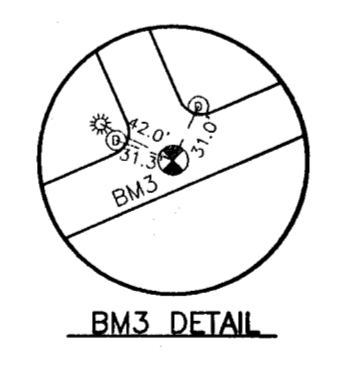
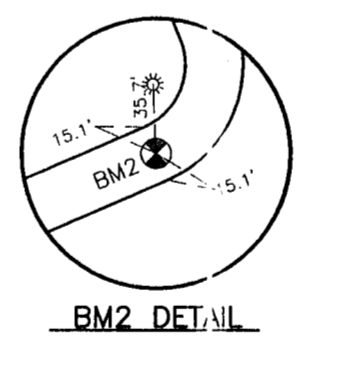
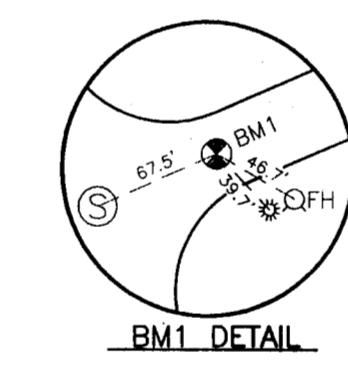
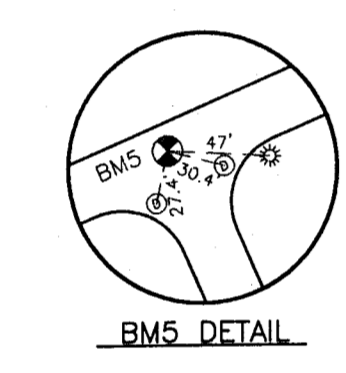
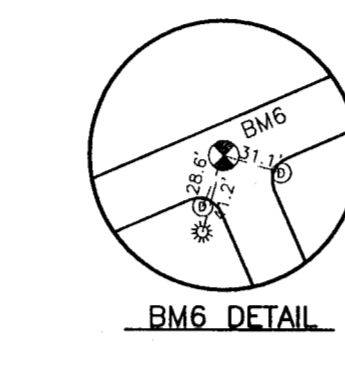
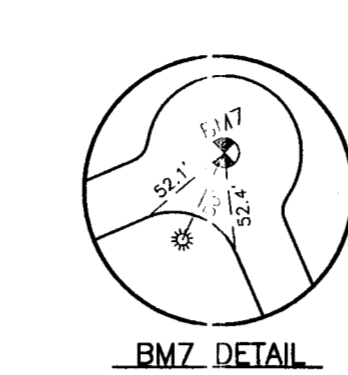
ACREAGE TABLE		
LOT	ACRES	SQUARE FEET
1	0.229	9,990
2	0.229	9,990
3	0.229	9,990
4	0.229	9,990
5	0.229	9,990
6	0.229	9,990
7	0.229	9,990
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10	0.229	9,990
11	0.229	9,990
12	0.229	9,990
13	0.229	9,990
14	0.229	9,990
15	0.229	9,990
16	0.229	9,990
17	0.229	9,990
18	0.229	9,990
19	0.226	9,860
20	0.226	9,860
21	0.214	9,310
2	0.401	17,450
3	0.221	9,630
4	0.232	10,125
5	0.232	10,125
6	0.232	10,125
7	0.232	10,125
8	0.232	10,125
9	0.232	10,125
10	0.232	10,125
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13	0.232	10,125
14	0.232	10,125
15	0.232	10,125
16	0.232	10,125
17	0.232	10,125
18	0.232	10,125
19	0.232	10,125
20	0.232	10,125
21	0.232	10,125
22	0.232	10,125
23	0.232	10,125
24	0.232	10,125
25	0.245	10,650
GS2	0.442	19,270

CULVERT TABLE		
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1	15 RCPA	
2	15 RCPA	
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22	24 RCPA	
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25	18 RCPA	
26	15 RCPA	
27	30 RCPA-NORTH DITCH	
28	24 RCPA-EAST DITCH	
29	15 RCPA-EAST DITCH	
1	15 RCPA-SOUTH DITCH	
2	15 RCPA-NORTH DITCH	
3	15 RCPA-EAST DITCH	
4	15 RCPA	
5	15 RCPA	
6	15 RCPA	
7	15 RCPA	
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CULVERT TABLE		
LOT	MINIMUM CULVERT DIAMETER (IN.)/TYPE	
1	15 RCPA	
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119	15 RCPA	
120	15 RCPA	

CULVERT TABLE		
LOT	MINIMUM CULVERT DIAMETER (IN.)/TYPE	
15	24 RCPA	
16	24 RCPA	
17	24 RCPA	
18	24 RCPA	
19	24 RCPA	
20	24 RCPA	
21	24 RCPA	
22	24 RCPA	
23	24 RCPA	
24	30 RCPA	
25	30 RCPA	

T 15 S - R 16 E
SECTION 8E



LINE TABLE		
LINE	LENGTH	BEARING
L1	14.42'	N 23°19'00" W
L2	7.12'	S 66°41'00" W
L3	51.40'	S 66°41'00" W
L4	39.72'	N 23°19'00" W
L5	8.31'	S 07°32'55" W
L6	58.77'	S 66°41'00" W
L7	63.93'	N 23°19'00" W
L8	2.77'	N 23°19'00" W
L9	12.81'	S 15°17'35" E
L10	8.24'	S 09°34'37" E
L11	31.25'	S 09°34'37" E

CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD
C1	39.27'	25.00'	90°00'00" N 21°41'00" E = 35.36'
C2	96.62'	75.00'	73°27'33" N 29°57'14" E = 89.71'
C3	39.27'	25.00'	90°00'00" S 68°19'00" E = 35.36'
C4	77.77'	50.00'	89°06'45" N 51°14'23" E = 70.16'
C5	52.13'	50.00'	59°44'29" S 54°20'00" E = 49.80'
C6	63.36'	50.00'	61°08'46" S 06°08'37" W = 50.80'

OFFERED BY:

SECONDED BY:

RESOLUTION NO. _____

A Resolution giving Notice of Intent to adopt an Ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.1.1 Streets (Urban Service District & Urban Planning Area) and Section 24.7.1.2.1 Streets (Rural Residential) of the Terrebonne Parish Codes as per "Attachment A".

THEREFORE, BE IT RESOLVED by the Terrebonne Parish Council, on behalf of the Terrebonne Parish Consolidated Government, that Notice of Intent is given for adopting an ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.1.1 Streets (Urban Service District & Urban Planning Area) and Section 24.7.1.2.1 Streets (Rural Residential) of the Terrebonne Parish Codes as per "Attachment A".

BE IT FURTHER RESOLVED that a public hearing on said ordinance be called for Wednesday, _____, 2009.

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this resolution ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the _____ Committee on _____, 2009 and subsequently ratified by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

OFFERED BY:

SECONDED BY:

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE SUBDIVISION REGULATIONS, CHAPTER 24, SECTION 24.7.1.1.1 STREETS (URBAN SERVICE DISTRICT & URBAN PLANNING AREA) AND SECTION 24.7.1.2.1 STREETS (RURAL RESIDENTIAL) OF THE TERREBONNE PARISH CODES AS PER "ATTACHMENT A".

SECTION I

BE IT ORDAINED by the Terrebonne Parish Council, in regular session convened, acting pursuant to the authority invested in it by the Constitution and laws of the State of Louisiana, the Home Rule Charter for a Consolidated Government for Terrebonne Parish, and including, but not limited to, LSA R.S. 33:1368 and other statutes of the State of Louisiana, to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.1.1 Streets (Urban Service District & Urban Planning Area) and Section 24.7.1.2.1 Streets (Rural Residential) of the Terrebonne Parish Codes as per "Attachment A".

SECTION II

If any word, clause, phrase, section or other portion of this ordinance shall be declared null, void, invalid, illegal, or unconstitutional, the remaining words, clauses, phrases, sections or other portions of this ordinance shall remain in full force and effect, the provisions of this ordinance hereby being declared to be severable.

SECTION III

This ordinance shall become effective upon approval by the Parish President or as otherwise provided in Section 2-13 (b) of the Home Rule Charter for a Consolidated Government of Terrebonne Parish, whichever occurs sooner.

This ordinance, having been introduced and laid on the table for at least two weeks, was voted upon as follows:

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this ordinance ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

* * * * *

Date and Time Delivered to Parish President:

Approved _____ Vetoed

Michel Claudet, Parish President
Terrebonne Parish Consolidated Government

Date and Time Returned to Council Clerk:

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of an Ordinance adopted by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

GIVEN UNDER MY OFFICIAL SIGNATURE AND SEAL OF OFFICE THIS _____ DAY OF _____, 2009.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Access to major subdivisions

Item 11 Proper access to subdivisions (ingress/egress)

Issue:

From a point of public safety and the care of the health and welfare of citizens of Terrebonne Parish, major subdivisions of 24 or more lots should have either two streets of public access and egress or a boulevard that continues to the first cross street of the subdivision.

1. On all EMS calls, the National Fire Protection Association (NFPA) 1710 (standard for the Organization and Deployment of Fire Suppression Operations, Emergency Medical Operations, and Special Operations to the Public by Career Fire Departments) establishes a turnout time of one minute, and four minutes or less, for the arrival of a unit with first responder or higher level capabilities at an emergency medical incident. This objective should be met 90% of the time.
2. The American Heart Association's scientific position is that brain death and permanent death start to occur in 4 to 6 minutes after someone experiences cardiac arrest. Cardiac arrest can be reversible if treated within a few minutes with an electric shock and advanced life support intervention to restore a normal heartbeat. Verifying this standard are studies showing that a victim's chances of survival are reduced by 7% to 10% with every minute that passes without defibrillation and advanced life support intervention. Few attempts at resuscitation succeed after 10 minutes.
3. The boston.com news show that property damage from a fire rises from \$20,000+ with a less than 3 minute arrival to greater than \$60,000 loss with an arrival time of over 9 minutes.

Proposal:

24.7.1.1.1 Streets (Urban Service District & Urban Planning Area) (pg. 32)

Add sentence after the end of the 1st paragraph to read as follows:

“All major subdivisions of greater than 24 lots shall have either two public streets of access and egress or a boulevard that continues to the first cross street of the subdivision.”

24.7.1.2.1 Streets (Rural Residential) (pg. 33)

Add sentence after the end of the 1st paragraph to read as follows:

“All major subdivisions of greater than 24 lots shall have either two public streets of access and egress or a boulevard that continues to the first cross street of the subdivision.”

March 11, 2009

OFFERED BY:

SECONDED BY:

RESOLUTION NO. _____

A Resolution giving Notice of Intent to adopt an Ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.5.3.3 Process C: Engineering Approval of the Terrebonne Parish Codes as per "Attachment A".

THEREFORE, BE IT RESOLVED by the Terrebonne Parish Council, on behalf of the Terrebonne Parish Consolidated Government, that Notice of Intent is given for adopting an ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.5.3.3 Process C: Engineering Approval of the Terrebonne Parish Codes as per "Attachment A".

BE IT FURTHER RESOLVED that a public hearing on said ordinance be called for Wednesday, _____, 2009.

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this resolution ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the _____ Committee on _____, 2009 and subsequently ratified by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

OFFERED BY:

SECONDED BY:

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE SUBDIVISION REGULATIONS, CHAPTER 24, SECTION 24.5.3.3 PROCESS C: ENGINEERING APPROVAL OF THE TERREBONNE PARISH CODES AS PER "ATTACHMENT A".

SECTION I

BE IT ORDAINED by the Terrebonne Parish Council, in regular session convened, acting pursuant to the authority invested in it by the Constitution and laws of the State of Louisiana, the Home Rule Charter for a Consolidated Government for Terrebonne Parish, and including, but not limited to, LSA R.S. 33:1368 and other statutes of the State of Louisiana, to amend the Subdivision Regulations, Chapter 24, Section 24.5.3.3 Process C: Engineering Approval of the Terrebonne Parish Codes as per "Attachment A".

SECTION II

If any word, clause, phrase, section or other portion of this ordinance shall be declared null, void, invalid, illegal, or unconstitutional, the remaining words, clauses, phrases, sections or other portions of this ordinance shall remain in full force and effect, the provisions of this ordinance hereby being declared to be severable.

SECTION III

This ordinance shall become effective upon approval by the Parish President or as otherwise provided in Section 2-13 (b) of the Home Rule Charter for a Consolidated Government of Terrebonne Parish, whichever occurs sooner.

This ordinance, having been introduced and laid on the table for at least two weeks, was voted upon as follows:

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this ordinance ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

* * * * *

Date and Time Delivered to Parish President:

Approved _____ Vetoed

Michel Claudet, Parish President
Terrebonne Parish Consolidated Government

Date and Time Returned to Council Clerk:

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of an Ordinance adopted by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

GIVEN UNDER MY OFFICIAL SIGNATURE AND SEAL OF OFFICE THIS _____ DAY OF _____, 2009.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Lapse between Conceptual/Preliminary Approval(s) and Engineering Approval

Item 13 Requirement of at least one meeting period between conceptual/preliminary approval(s) and engineering approval

Issue:

From a time standpoint, there should be time between the conceptual/preliminary approval(s) and engineering approval meetings so that:

1. If there are any substantial revisions to the conceptual/preliminary plan(s), there will be time for these to be submitted and approved before moving onto the next phase of approval;
2. The public will be able to view and respond to any revised conceptual/preliminary plan(s) in an open forum;
3. The public may miss the process if conceptual/preliminary and engineering is held in the same meeting therefore not being properly informed about the process or allowed to participate in the process; and
4. It will give the commissioners adequate time to evaluate each plan and respond accordingly.

Proposal:

24.5.3.3 Process C: Engineering Approval (pg. 17)

Add sentence between the 1st and 2nd sentence to read as follows:

“The purpose of the engineering approval phase is to consider the engineering plans of the proposed subdivision. The engineering approval process cannot be requested at the same meeting that the conceptual/preliminary is submitted for approval. The prerequisites of the Engineering Plan are listed in Section 24.5.4.5.”

March 11, 2009

OFFERED BY:

SECONDED BY:

RESOLUTION NO. _____

A Resolution giving Notice of Intent to adopt an Ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.2 General of the Terrebonne Parish Codes as per "Attachment A".

THEREFORE, BE IT RESOLVED by the Terrebonne Parish Council, on behalf of the Terrebonne Parish Consolidated Government, that Notice of Intent is given for adopting an ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.2 General of the Terrebonne Parish Codes as per "Attachment A".

BE IT FURTHER RESOLVED that a public hearing on said ordinance be called for Wednesday, _____, 2009.

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this resolution ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the _____ Committee on _____, 2009 and subsequently ratified by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

OFFERED BY:

SECONDED BY:

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE SUBDIVISION REGULATIONS, CHAPTER 24, SECTION 24.2 GENERAL OF THE TERREBONNE PARISH CODES AS PER “ATTACHMENT A”.

SECTION I

BE IT ORDAINED by the Terrebonne Parish Council, in regular session convened, acting pursuant to the authority invested in it by the Constitution and laws of the State of Louisiana, the Home Rule Charter for a Consolidated Government for Terrebonne Parish, and including, but not limited to, LSA R.S. 33:1368 and other statutes of the State of Louisiana, to amend the Subdivision Regulations, Chapter 24, Section 24.2 General of the Terrebonne Parish Codes as per “Attachment A”.

SECTION II

If any word, clause, phrase, section or other portion of this ordinance shall be declared null, void, invalid, illegal, or unconstitutional, the remaining words, clauses, phrases, sections or other portions of this ordinance shall remain in full force and effect, the provisions of this ordinance hereby being declared to be severable.

SECTION III

This ordinance shall become effective upon approval by the Parish President or as otherwise provided in Section 2-13 (b) of the Home Rule Charter for a Consolidated Government of Terrebonne Parish, whichever occurs sooner.

This ordinance, having been introduced and laid on the table for at least two weeks, was voted upon as follows:

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this ordinance ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

* * * * *

Date and Time Delivered to Parish President:

Approved _____ Vetoed

Michel Claudet, Parish President
Terrebonne Parish Consolidated Government

Date and Time Returned to Council Clerk:

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of an Ordinance adopted by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

GIVEN UNDER MY OFFICIAL SIGNATURE AND SEAL OF OFFICE THIS _____ DAY OF _____, 2009.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Altering drainage plan after development is completed

Item 19 Altering drainage plan after development

Issue:

Thousands of dollars are spent designing, approving, and inspecting drainage systems for new developments but apparently no prohibition exist on changing the designs after the subdivision receives final approval.

Proposal:

24.2 General (pg. 1)

Add sentence after 3rd paragraph to read as follows:

“It shall constitute a violation of this ordinance for anyone to alter a subdivision drainage plan constructed with Planning Commission review and approval without a letter of ‘no adverse effect’ from the Department of Public Works Engineering Division, a copy of which shall be forwarded to the Houma-Terrebonne Regional Planning Commission for inclusion in the respective subdivision file.”

March 11, 2009

OFFERED BY:

SECONDED BY:

RESOLUTION NO. _____

A Resolution giving Notice of Intent to adopt an Ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.2.4 Minimum Residential Lot Size and Section 24.7.1.5 Residential Lot Frontage (Access) of the Terrebonne Parish Codes as per "Attachment A".

THEREFORE, BE IT RESOLVED by the Terrebonne Parish Council, on behalf of the Terrebonne Parish Consolidated Government, that Notice of Intent is given for adopting an ordinance to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.2.4 Minimum Residential Lot Size and Section 24.7.1.5 Residential Lot Frontage (Access) of the Terrebonne Parish Codes as per "Attachment A".

BE IT FURTHER RESOLVED that a public hearing on said ordinance be called for Wednesday, _____, 2009.

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this resolution ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of a resolution adopted by the _____ Committee on _____, 2009 and subsequently ratified by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

OFFERED BY:

SECONDED BY:

ORDINANCE NO. _____

AN ORDINANCE TO AMEND THE SUBDIVISION REGULATIONS, CHAPTER 24, SECTION 24.7.1.2.4 MINIMUM RESIDENTIAL LOT SIZE AND SECTION 24.7.1.5 RESIDENTIAL LOT FRONTAGE (ACCESS) OF THE TERREBONNE PARISH CODES AS PER "ATTACHMENT A".

SECTION I

BE IT ORDAINED by the Terrebonne Parish Council, in regular session convened, acting pursuant to the authority invested in it by the Constitution and laws of the State of Louisiana, the Home Rule Charter for a Consolidated Government for Terrebonne Parish, and including, but not limited to, LSA R.S. 33:1368 and other statutes of the State of Louisiana, to amend the Subdivision Regulations, Chapter 24, Section 24.7.1.2.4 Minimum Residential Lot Size and Section 24.7.1.5 Residential Lot Frontage (Access) of the Terrebonne Parish Codes as per "Attachment A".

SECTION II

If any word, clause, phrase, section or other portion of this ordinance shall be declared null, void, invalid, illegal, or unconstitutional, the remaining words, clauses, phrases, sections or other portions of this ordinance shall remain in full force and effect, the provisions of this ordinance hereby being declared to be severable.

SECTION III

This ordinance shall become effective upon approval by the Parish President or as otherwise provided in Section 2-13 (b) of the Home Rule Charter for a Consolidated Government of Terrebonne Parish, whichever occurs sooner.

This ordinance, having been introduced and laid on the table for at least two weeks, was voted upon as follows:

THERE WAS RECORDED:

YEAS: _____

NAYS: _____

ABSTAINING: _____

ABSENT: _____

The Chairman declared this ordinance ADOPTED/NOT ADOPTED on this, the _____ day of _____, 2009.

ARLANDA WILLIAMS, CHAIRWOMAN
TERREBONNE PARISH COUNCIL

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

* * * * *

Date and Time Delivered to Parish President:

Approved _____ Vetoed

Michel Claudet, Parish President
Terrebonne Parish Consolidated Government

Date and Time Returned to Council Clerk:

* * * * *

I, PAUL A. LABAT, Clerk of the Terrebonne Parish Council, do hereby certify that the foregoing is a true and correct copy of an Ordinance adopted by the Assembled Council in Regular Session on _____, 2009, at which meeting a quorum was present.

GIVEN UNDER MY OFFICIAL SIGNATURE AND SEAL OF OFFICE THIS _____ DAY OF _____, 2009.

PAUL A. LABAT, COUNCIL CLERK
TERREBONNE PARISH COUNCIL

Houma-Terrebonne Regional Planning Commission

Subdivision Regulations Review

Lot development on right-of-ways

Item 21 Lot development on right-of-ways

Issue:

The Planning Commission has long held that residential lots need to front on a public street or a private street built to public standards. With very little exception, the fire hydrant spacing regulations with the accompanying 8" waterline requirement has maintained this policy. The existing regulations; however, still allow residential lots to front on right-of-ways.

Proposal:

24.7.1.2.4 Minimum Residential Lot Size (pg. 34)

Revise 2nd sentence to read as follows:

“However, all lots must front along a public roadway or private roadway built to public standards ~~or servitude of passage~~ and shall contain adequate frontage and depth to enclose four 50-foot sides at 90° angles to each other, none of which may encroach upon a public road right-of-way or access servitude to adjacent property.”

24.7.1.5 Residential Lot Frontage (Access) (pg. 37)

Revise 2nd sentence to read as follows:

“All residential units must have as its primary means of access either a publicly dedicated street, alley, or on a non-publicly dedicated private street built to public standards ~~passageway~~ for vehicular traffic.”

March 11, 2009